

- MARTIS CAMP SITE PLAN NOTES:**
1. FIREPTS WILL BE PLUMBED FOR GAS AND A CERAMIC LOG KIT WILL BE INSTALLED. PROVIDE WRITTEN INSTRUCTION TO OWNER THAT NO SOLID FUEL BURNING IS PERMITTED.
  2. SPA SHALL BE SELF-CONTAINED AND HAVE AN ASTM LISTED SAFETY COVER.
  3. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH THE MARTIS CAMP APPROVED FOREST UNDERSTORY SEED MIXTURE AND ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW OR MULCH PRIOR TO SUBMITTING FINAL RELEASE.
  4. FOR GRAVITY FED LOTS (SEE DEVELOPMENT NOTEBOOK SHEETS):
    - a. SITE PLAN SHALL INDICATE THE LOCATION OF THE HOUSE CLEANOUT
    - b. THE HOUSE CLEANOUT SHALL HAVE A ONE-WAY CLEANOUT WITHIN 5 FEET OF WHERE THE LATERAL EXITS THE STRUCTURE FOUNDATION. THE CLEANOUT BOXES SHALL BE SET TO GRADE.
    - c. LIDS SHALL HAVE "SEWER" OR EQUIVALENT IMPRINTED ON THE LID.
    - d. CLEANOUT MUST REMAIN ACCESSIBLE AND MAY NOT BE COVERED BY PERMANENT TILES, ROCK, ETC.
  5. SITE PLAN SHALL SHOW LOCATION OF CONNECTION POINT TO SEWER MAIN LOCATION OF CONNECTION POINT SHALL BE CONSISTENT WITH RECORD DRAWINGS PREPARED BY GW CONSULTING.
  6. ALL SEWER FACILITIES SHALL MEET TRUCKEE SANITARY DISTRICT (TSD) CODE REQUIREMENTS.
  7. SEWER ASSUMED TO BE GRAVITY FED, PUMP NOT REQUIRED.

- SITE PLAN NOTES**
- 1) TOPOGRAPHIC SURVEY:
    - A) TOPOGRAPHIC AND OTHER SURVEY INFORMATION OBTAINED FROM A SURVEY PREPARED BY WEBB LAND SURVEYING INC., 3190 FABIAN WAY, UNIT C, TAHOE CITY, CA 96145 DATED OCT. 14, 2010.
    - B) TREES SMALLER THAN 6" IN DIAMETER HAVE NOT BEEN SHOWN.
    - C) THE ELEVATION DATUM FOR THE SURVEY WAS ASSUMED. ELEVATION = 6082.0' BENCHMARK = TOP OF S.S. MANHOLE RM.
    - D) SPOT ELEVATIONS ARE ACCURATE TO 0.2 +/-', SCALED FEATURE LOCATIONS ARE ACCURATE TO 0.5 +/-'.
  - 2) GEOTECHNICAL REPORT: A GEOTECHNICAL INVESTIGATION AND REPORT HAS BEEN PREPARED FOR THIS PROJECT BY NORTCH CONSULTANTS, LTD. 300 WESTERN RD #3, RENO, NV 89506, DATED OCTOBER 20, 2010. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND PERFORM ALL WORK IN ACCORDANCE WITH THE RECOMMENDATIONS INCLUDED IN THIS REPORT.
  - 3) TRUCKEE SANITARY DISTRICT REQUIREMENTS: THE HOUSE CLEANOUT SHALL HAVE A ONE-WAY CLEANOUT WITHIN 5 FEET OF WHERE THE LATERAL EXITS THE STRUCTURE FOUNDATION. THE CLEANOUT BOXES SHALL BE SET TO GRADE. LIDS SHALL HAVE "SEWER" OR EQUIVALENT IMPRINTED ON THE LID. CLEANOUT MUST REMAIN ACCESSIBLE AND MAY NOT BE COVERED BY PERMANENT TILES, ROCK, ETC. ALL SEWER FACILITIES SHALL MEET TRUCKEE SANITARY DISTRICT (TSD) CODE REQUIREMENTS.
  - 4) EXISTING UTILITIES: CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS PRIOR TO COMMENCING WORK.
  - 5) FOUNDATION DRAINAGE: PROVIDE UNDER FLOOR, BELOW SLAB, AND FOUNDATION PERIMETER DRAINAGE AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND THE GEOTECHNICAL REPORT. CONSULT WITH GEOTECHNICAL ENGINEER IN THE FIELD TO VERIFY THE ADEQUACY OF DRAINAGE SYSTEM INSTALLATION. 5) GRADING/DRAINAGE: SLOPE ALL GRADES ADJACENT TO FOUNDATIONS AWAY FROM THE BUILDING A MINIMUM OF 5%. MAINTAIN THE 5% SLOPE FOR A MINIMUM DISTANCE OF 17' AWAY FROM THE STRUCTURE OR TO AN APPROVED DRAINAGE FACILITY. PROVIDE 2% MINIMUM SLOPE AT ALL DRAINAGE SWALES LOCATED WITHIN 10' OF A BUILDING. SLOPE ALL IMPERVIOUS SURFACES AWAY FROM BUILDINGS AT A MINIMUM SLOPE OF 2%. VERIFY TERRACE SURFACE DRAINAGE IN FIELD WITH ARCHITECT.
  - 6) EROSION PREVENTION PLAN:
    - A. LIMIT ALL WORK AND SITE DISTURBANCE TO THE AREA LOCATED WITHIN THE "AREA OF DISTURBANCE" BOUNDARY INDICATED ON THE SITE PLAN.
    - B. ALL GRADING AND EXCAVATION WORK SHALL BE PERFORMED BETWEEN MAY 1 AND OCTOBER 15 AND AS REQUIRED BY ALL AGENCIES HAVING JURISDICTION. IF MINOR EARTHWORK IS ALLOWED 10/15-5/1, UTILIZE REQUIRED WINTERIZATION METHODS.
    - C. INSTALL TEMPORARY AND PERMANENT EROSION PREVENTION FACILITIES AS INDICATED IN THE CONSTRUCTION DOCUMENTS. MAINTAIN TEMPORARY EROSION PREVENTION FACILITIES THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL FINAL COMPLETION.
    - D. TERMINATE ALL R.W.L.'S, AREA DRAINS, FOUNDATION DRAINS, ETC. IN DRY WELLS OR OTHER APPROVED INFILTRATION SYSTEM COMPONENTS.
    - E. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH THE MARTIS CAMP APPROVED FOREST UNDERSTORY SEED MIXTURE AND ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW OR MULCH PRIOR TO SUBMITTING FOR FINAL RELEASE. CONTRACTOR TO PROVIDE DESIGN BUILD LANDSCAPE SERVICES.
    - F. PROTECT ALL TEMPORARY STOCKPILES OF EARTH PER REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION.
    - G. LOCATE CONCRETE WASHOUT AREA PER DESIGN REVIEW GUIDELINES.
  - 7) CONSTRUCTION MANAGEMENT PLAN:
    - A. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH SUBDIVISION CONSTRUCTION GUIDELINES. REFER TO DESIGN GUIDELINES FOR ADDITIONAL INFORMATION.
    - B. CONSTRUCTION TRAILER: COLOR, SIZE, LOCATION AND TYPE TO BE APPROVED BY DESIGN REVIEW COMMITTEE DURING PRE-CONSTRUCTION CONFERENCE.
    - C. ACCESS: CONSTRUCTION ACCESS TO THE BUILDING SITE SHALL BE OVER THE PROPOSED DRIVEWAY ONLY. PROVIDE ONGOING PROTECTION OF EXISTING VEGETATION DURING ALL PHASES OF CONSTRUCTION UNTIL COMPLETION OF THE PROJECT.
    - D. PARKING: COMPLY WITH REQUIREMENTS OF THE CONSTRUCTION GUIDELINES.
    - E. MATERIAL STORAGE/DELIVERY: ALL BUILDING MATERIALS, EQUIPMENT, AND MACHINERY, ARE TO BE DELIVERED TO AND REMAIN WITHIN THE IMPROVEMENT ENVELOPE AND THE BOUNDARIES OF THE AREA OF DISTURBANCE.
    - F. DEBRIS AND WASTE REMOVAL: CLEAN UP TRASH AND DEBRIS AT THE END OF EACH DAY. REMOVE FROM THE CONSTRUCTION SITE AT LEAST ONCE A WEEK. CONSTRUCTION SITE SHALL BE KEPT NEAT AND SHALL NOT BE AN EYESORE, NUISANCE, OR DETRIMENT TO NEIGHBORING PROPERTIES.
    - G. HOURS OF CONSTRUCTION: REFER TO CONSTRUCTION GUIDELINES FOR RESTRICTIONS.
    - H. FIRE SAFETY: CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL FIRE SAFETY REGULATIONS. PROVIDE A MINIMUM OF 1 SHOVEL AND TWO 20 LB ABC RATED DRY CHEMICAL FIRE EXTINGUISHERS MOUNTED IN PUBLIC VIEW.
    - I. TEMPORARY POWER, SIGNS, SURVEY LINES, ETC. SHALL NOT BE NAILED TO TREES.
    - J. PORTABLE TOILET AND DUMPSTER SHALL BE LOCATED IN A LOCATION APPROVED BY THE DESIGN REVIEW ADMINISTRATOR.
  - 8) WILDLAND - URBAN INTERFACE (WUI)
    - A. THIS PROJECT IS LOCATED IN AN AREA DESIGNATED BY THE STATE FIRE MARSHAL AS A "BEE SEVERITY ZONE".

**COVERAGE CALCULATIONS**

LOT AREA:	74,898 S.F.
ALLOWED COVERAGE 30%:	22,469 S.F.
MAX ALLOWED BUILDING COVERAGE:	18,724 S.F.

**PROPOSED IMPERVIOUS COVERAGE**

RESIDENCE (BUILDING COVERAGE):	4,037 S.F.
COVERED PORCHES (BUILDING COVERAGE):	479 S.F.
TOTAL BUILDING COVERAGE:	4,516 S.F.

**TERRACE & ENTRY WALK:** 1,311 S.F.  
**DRIVEWAY:** 3,258 S.F.  
**TOTAL (12% OF LOT AREA):** 9,085 S.F.

**SETBACK & HEIGHT REQUIREMENTS**

MINIMUM FRONTS:	75 FT
MINIMUM SIDES:	65 FT
MINIMUM REAR:	65 FT
OTHER:	
MAXIMUM HEIGHT:	35 FT
MAXIMUM COVERAGE:	22,469 S.F.

**LEGEND**

● FOUND REBAR	□ DRYWELL AND SCHEDULE KEY
○ NOTHING FOUND OR SET	▨ CONVEYANCE TRENCH
— EXISTING/PROPOSED CONTOUR	▨ CONVEYANCE TRENCH
- - - EXISTING CONTOUR CHANGED	▨ INFILTRATION TRENCH AND SCHEDULE KEY
xxx-x' SPOT ELEVATION	▨ INFILTRATION TRENCH AND SCHEDULE KEY
□ UTILITY AS NOTED	▨ VEGETATION PROTECTION FENCING
BSBL BUILDING SETBACK LINE	▨ VEGETATION PROTECTION FENCING
P.U.E. PUBLIC UTILITY EASEMENT	▨ EROSION CONTROL BARRIER
M.P.E. MULTI-PURPOSE EASEMENT	
○ 20P TREE WITH DIAMETER & TYPE	
P=PINE, F=FIR, C=CEDAR	
⊗ TREE TO BE REMOVED	

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**8251 Valhalla Residence**

**CRESTWOOD CONSTRUCTION**

Martis Camp Lot 147  
 Placer County, California

REVISIONS

1	3-30-12 PCBD PLAN CHECK CORRECTIONS
2	11-18-13 MC FINAL RELEASE

PROJECT NO: 10021  
 SCALE: 1/8" = 1'-0"  
 DRAWN: BB  
 CHECKED: TB  
 DATE: MARCH 9, 2012  
 PCBD PERMIT SUBMITTAL  
 SHEET TITLE: SITE PLAN

**A1.1**

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**MARTIS CAMP FLOOR PLAN SHEET NOTES:**

1. THE CONDITIONS OF APPROVAL AND CC+R<sub>2</sub> FOR THE PROJECT EXPLICITLY FORBID THE INSTALLATION OF ANY NON-EPA PHASE 2 CERTIFIED WOOD BURNING DEVICES OR MASONRY FIREPLACES THAT DO NOT HAVE A UL APPROVED DECORATIVE GAS BURNING APPLIANCE THAT USES EITHER A DIRECT VENT OR B VENT FLE SYSTEM, UNLESS OTHERWISE AGREED TO BY THE PCA/PCD AND CONSISTENT WITH THE MARTIS VALLEY AIR QUALITY ORDINANCE. SOLID FUEL BURNING APPLIANCES/FIREPLACES ARE PROHIBITED IN MULTI-FAMILY LAND USES. THE MAXIMUM EMISSION POTENTIAL FROM EACH RESIDENCE SHALL NOT EXCEED 7.5 GRAMS PER HOUR.
2. THE REFUSE ENCLOSURE IS BUILT ON A CONCRETE SLAB AND WILL BE ACCESSED VIA A METAL DOOR WITH ACCOMPANYING METAL FRAME AND LATCHED WITH A YEAR-ROUND DOOR KNOB WITH SECONDARY LATCH AND IN ACCORDANCE WITH PLACER COUNTY'S BEAR-RESISTANCE ENCLOSURE ORDINANCE. THE INTERIOR MUST BE FINISHED WITH SHEETROCK, INSIDE WEATHER STRIPPING, AND A PAINTED FINISH. PROVIDE BEAR PROOF TRASH BOX W/ STONE SURROUND & STONE SLAB ROOF AS INDICATED ON DRAWINGS.

**FLOOR PLAN SHEET NOTES:**

1. UNLESS OTHERWISE NOTED, GRID AND DIMENSION LINES ARE ON FACE OF STUD. DOOR & WINDOW LOCATING DIMENSIONS ARE TO THE CENTER OF ROUGH OPENINGS. WINDOWS WITHOUT DIMENSIONS ARE LOCATED AT THE CENTER OR WILL MEET FLUSH AT CORNER. THE DIMENSION BETWEEN WINDOWS=4.5' U.O.N. DOORS WITHOUT DIMENSIONS ARE LOCATED AT THE CENTER OF THE WALL OR HAVE A 3' RETURN, U.O.N.
2. HANDRAIL SLOPE SHALL BE UNIFORM & CONTINUOUS THE FULL LENGTH OF THE STAIR, NOT LESS THAN 34" AND NOT MORE THAN 38" MEASURED ABOVE THE STAIR TREAD NOSINGS. IF CROSS SECTION IS CIRCULAR THE OUTSIDE DIAM. SHALL BE 1.25" MIN, 2" MAX. IF NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF 4" MIN, 6.25" MAX WITH MAX. 2.25" CROSS SECTION DIMENSION. EDGES SHALL HAVE A MIN RADIUS 0.01 INCH.
3. GUARDS SHALL BE 42" MIN. MEASURED VERTICALLY ABV. THE LEADING EDGE OF THE TREAD OR ADJACENT WALKING SURFACE. OPEN GUARDS SHALL HAVE BALUSTER OR ORNAMENTAL PATTERN SUCH THAT A 4" DIAM. SPHERE CANNOT PASS THROUGH ANY OPENING. TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL AT THE OPEN SIDE OF A STAIR SHALL BE OF A MAX. SIZE SUCH THAT A 6" SPHERE CANNOT PASS THROUGH.
4. [Symbol] INDICATES WALL ASSEMBLY TYPE, SEE TYPICAL ASSEMBLIES FOR DETAILS.
5. PROVIDE BACKING IN WALLS FOR BATH HARDWARE AND ACCESSORIES. VERIFY WITH OWNER, INTERIOR DESIGNER OR ARCHITECT IN FIELD.

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**LOWER FLOOR PLAN**

00 02 04 08 FEET

**BUILDING AREA SUMMARY**

LOWER FLOOR LIVING AREA	3,065 SF
UPPER FLOOR LIVING AREA	1,272 SF
TOTAL LIVING AREA	4,337 SF
GARAGE, MECHANICAL & TRASH AREA	951 SF



REVISIONS	
3-30-12	PCBD PLAN CHECK CORRECTIONS
8-20-12	O.R.D.C.
11-18-13	MC FINAL RELEASE

PROJECT NO.

10021

SCALE

1/4" = 1'-0"

DRAWN

BB

CHECKED

TB

DATE

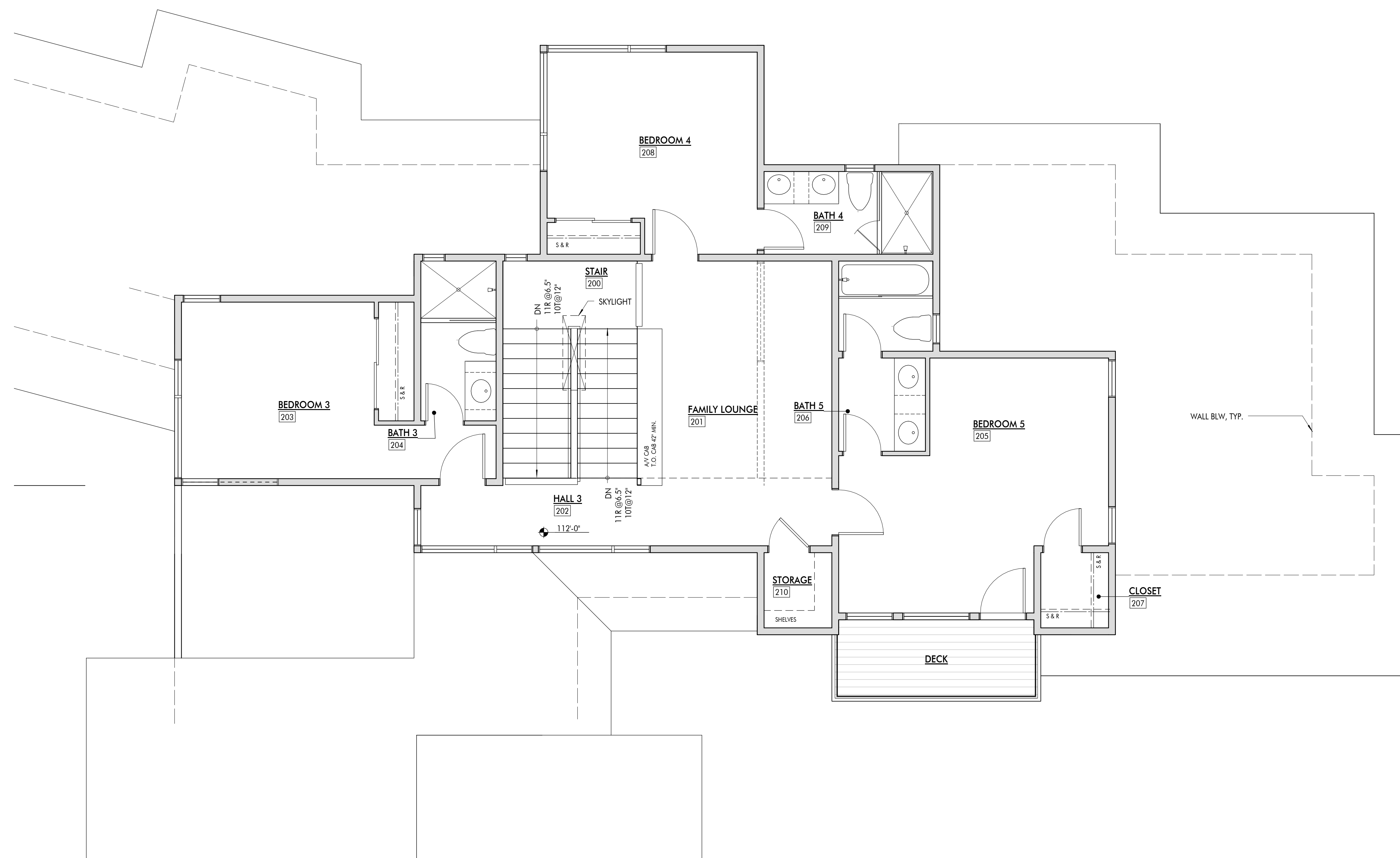
MARCH 9, 2012

PCBD PERMIT SUBMITTAL

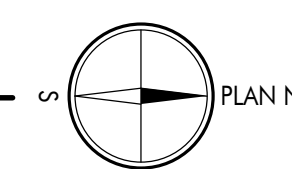
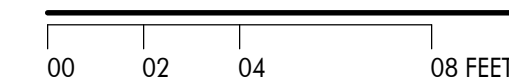
SHEET TITLE

UPPER FLOOR PLAN

**A2.2**



**UPPER FLOOR PLAN**



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