

**survey notes:**

- BEFORE DRAWING PLANS, PROPERTY OWNERS OR THEIR REPRESENTATIVES MUST CHECK FOR SETBACKS, ASSOCIATION DESIGN AND CC&R REQUIREMENTS, ALLOWABLE LAND COVERAGE RESTRICTIONS, OPEN SPACE REQUIREMENTS, HEIGHT RESTRICTIONS, ETC. PROJECT DESIGNER IS RESPONSIBLE FOR COMPLIANCE WITH ALL DESIGN CONSTRAINTS LISTED IN THE MARTIS CAMP COMMUNITY DESIGN BOOK AND DEVELOPMENT NOTEBOOK ON FILE WITH PLACER COUNTY PLANNING DEPARTMENT. IT IS NOT INTENDED THAT THIS SURVEY RELIEVE THE PROJECT DESIGNER OF THE NECESSITY OF AN INVESTIGATIVE VISIT TO THE SITE. BEFORE CONSTRUCTION BEGINS, GRADES SHOULD BE CHECKED BY THE BUILDER.
- TREES SMALLER THAN 6" IN DIAMETER HAVE NOT BEEN SHOWN.
- THE ACCURACY OF THIS SURVEY IS ONE-HALF CONTOUR INTERVAL.
- FIELD WORK FOR THIS SURVEY WAS ACCOMPLISHED ON 7/23/09.
- ALL EASEMENTS OF RECORD PER THE SUBDIVISION TRACT MAP HAVE BEEN SHOWN. NO INVESTIGATION HAS BEEN MADE FOR EASEMENTS OF RECORD, ENCUMBRANCES, COVENANTS AND CONDITIONS OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH A CURRENT TITLE SEARCH MAY DISCLOSE, OTHER THAN THOSE SHOWN HEREON.
- THIS MAP INDICATES THE LOCATION OF SURFACE UTILITIES DISCOVERED DURING THE COURSE OF THIS SURVEY. UTILITY COMPANIES SHOULD BE CONSULTED FOR LOCATION OF UNDERGROUND FACILITIES OR OTHER UTILITIES NOT SHOWN HEREON.

**site plan notes:**

- FOR DESIGNATED PUMP OR FORCED MAIN LOTS:
  - PUMP AND HOLDING TANK SHALL BE INSTALLED IN A LOCATION SUCH AS TO BE REASONABLY ACCESSIBLE FOR INSPECTION AND MAINTENANCE.
  - PUMP SYSTEM SHALL MEET TRUCKEE SANITARY DISTRICT (TSD) CODE REQUIREMENTS & MANUF'S SPECIFICATIONS.
  - A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR & A TSD INSPECTOR IS REQUIRED PRIOR TO START OF CONSTRUCTION TO DISCUSS PUMP SYSTEM DESIGN.
- ADDRESS NUMBERS SHALL BE POSTED ON DWELLING, MIN. 4 INCHES IN HEIGHT, 1/2" STROKE, ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET.
- DRIVEWAY SHALL BE 12 FEET MINIMUM WIDTH AND A MAXIMUM TWENTY PERCENT SLOPE.
- PROVIDE STUB OUT FOR LOW VOLTAGE LANDSCAPE LIGHTING AT THE ENTRY DRIVEWAY AREA & AT EAST PATIO/HOT TUB AREAS.
- SLOPE ADJACENT GRADE, SLABS & PATIOS 1/8" / FT. (MIN.) AWAY FROM RESIDENCE (TYP. U.N.O.).

**cal fire notes:**

- A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY REQUIRE TO BE A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQ.MNT. NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
- REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET CHIMNEY OR STOVE PIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD. HYDRANT SHALL BE PAINTED IN ACCORDANCE WITH THE STATE OF CALIFORNIA HEALTH & SAFETY CODE, VERIFY WITH AUTHORITY HAVING JURISDICTION.

**erosion control measure notes:**

- ALL DISTURBED AREAS WILL BE REVEGETATED WITH THE MARTIS CAMP APPROVED FOREST UNDERSTORY SEED MIXTURE AND ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW OR MULCH PRIOR TO SUBMITTING FOR FINAL RELEASE.
- 3" GRAVEL COVER TO BE INSTALLED UNDER DECKS (PEA GRAVEL OR 3/4" DRAIN ROCK) AS NECESSARY WHERE EROSION IS PRESENT.
- INFILTRATION TRENCHES TO BE INSTALLED UNDER ALL EAVE DRIPLINES (1 1/2" x 1 1/2" MIN.) AS NECESSARY WHERE EROSION IS EVIDENT (SEE DTL 5/A1.2). EAVE DRIPLINE TRENCHES SHALL NOT BE INSTALLED WHERE THERE IS EXISTING VEGETATION AND NO EVIDENCE OF EROSION.
- TREE LOCATIONS ARE APPROXIMATE.
- LOCATE PORTABLE TOILETS AWAY FROM SURFACE WATER LOCATIONS AND STORM DRAIN INLETS.
- FOUNDATION DRAINS TO BE TIED INTO SITE DRAINAGE DISPERSION SYSTEM.
- PROVIDE BMP'S AROUND THE SITE, USING DIVERSION BERMS, SILT FENCING AND/OR STRAW/COIR LOGS TO DIVERT WATER FROM UNSTABLE OR DENUED AREAS. USE ONE OR MORE ROWS OF STRAW/COIR LOGS AT GRADE BREAKS, WHERE SLOPES TRANSITION TO A STEEPER SLOPE.
- USE CURB INLET SEDIMENT BARRIERS AT STORM DRAIN INLETS.
- BMP'S MUST BE MAINTAINED CONTINUOUSLY BETWEEN OCT. 15 AND APR. 15, UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
- PROVIDE FIBER ROLLS (STRAW/COIR LOGS) AS REQUIRED IN THE FOLLOWING LOCATIONS: ALONG THE FACE OF EXPOSED AND ERODIBLE SLOPES, AT GRADE BREAKS WHERE SLOPE IS TRANSITIONING TO A STEEPER SLOPE, AND IN DRAINAGE SWALES.
- PROVIDE TEMPORARY SEDIMENT CONTROL DEVICES AT STORM DRAIN INLETS. USE GRAVEL BAGS OR OTHER METHODS APPROVED BY PLACER COUNTY.

**coverage calculations:**

**building coverage**

conditioned (living area):	2097 ft <sup>2</sup>
unconditioned (mech./stor.):	691 ft <sup>2</sup>
patio (covered):	81 ft <sup>2</sup>
<b>total:</b>	<b>2869 ft<sup>2</sup></b>

**on-site impervious coverage**

building:	
conditioned (living area):	2097 ft <sup>2</sup>
unconditioned (mech./stor.):	691 ft <sup>2</sup>

exterior:	
patio:	296 ft <sup>2</sup>
walks:	71 ft <sup>2</sup>
driveway:	941 ft <sup>2</sup>
spa:	69 ft <sup>2</sup>
landscape walls:	21 ft <sup>2</sup>
dog run:	15 ft <sup>2</sup>
turn-around:	215 ft <sup>2</sup>
<b>total:</b>	<b>(33%) 4416 ft<sup>2</sup></b>

**off-site impervious coverage**

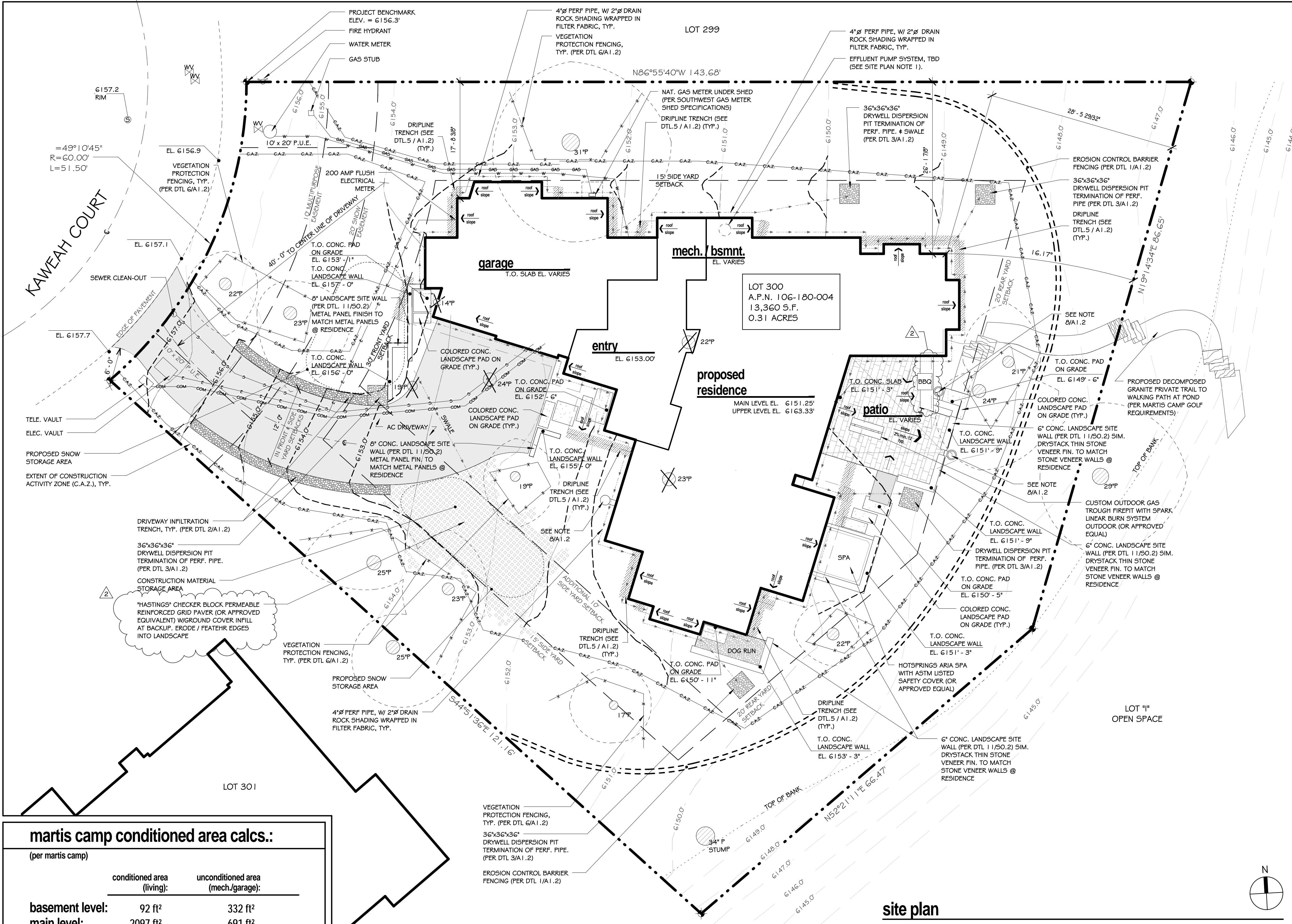
driveway:	49 sf.
private trail:	tbd.

**legend:**

	FOUND 5/8" REBAR W/CAP STAMPED "PLS 6459"		DESIGNATES INFILTRATION TRENCH @ DRIVEWAY (SEE DTL 5/A1.2)
	NOTHING FOUND OR SET		DESIGNATES INFILTRATION TRENCH @ EAVE DRIPLINE (SEE DTL 5/A1.2)
	SPOT ELEVATION		DESIGNATES DRYWELL DISPERSION PIT (SEE DTL 3/A1.2)
	SEWER MANHOLE		FOUNDATION DRAIN, PERF. PIPE, OR SUB-TERRAIN DRAIN
	WATER VALVE		
	FIRE HYDRANT		
	SEWER CLEANOUT		
	UTILITY AS NOTED		
	P.U.E. PUBLIC UTILITY EASEMENT		
	M.P.E. MULTIPURPOSE EASEMENT		
	S.E. SNOW EASEMENT		
	BSBL BUILDING SETBACK LINE PER MARTIS CAMP DRC		
	TREE W DRIPLINE, DIAMETER & TYPE P=PINE, F=FIR, C=CEDAR		
	ELECTRICAL SERVICE		
	NATURAL GAS SERVICE		
	WATER SERVICE		
	SEWER SERVICE		
	TELEPHONE, CABLE, TV, MISC. COMMUNICATION SERVICE		
	VEGETATION FENCING		
	CONSTRUCTION ACTIVITY ZONE (C.A.Z.)		

**martis camp conditioned area calcs.:**

	conditioned area (living):	unconditioned area (mech./garage):
basement level:	92 ft <sup>2</sup>	332 ft <sup>2</sup>
main level:	2097 ft <sup>2</sup>	691 ft <sup>2</sup>
upper level:	979 ft <sup>2</sup>	63 ft <sup>2</sup>
<b>total:</b>	<b>3168 ft<sup>2</sup></b>	<b>1086 ft<sup>2</sup></b>



**site plan**

scale: 1/8" = 1'-0"

**Consultants:**

**Owner:**  
**Dick and Connie Good**  
9820 E Thompson Peak Pkwy,  
Lot 654  
Scottsdale, AZ 85255

**Legal Description:**  
martis camp lot 300  
county of placers  
state of california  
apn: 106-180-004-000

**good residence**

10507 kaweah court  
truckee, california

martis camp  
final design  
submittal

building  
department  
submittal

Revisions:  
REVISION 05.13.11  
MARTIS CAMP F.D.S.

Project No.:  
**09091**  
Drawn: Checked:  
Date: jls  
Date: 21 december, 2010  
Scale: 1/8" = 1'-0"

Sheet Title:  
**site plan**

Sheet No.:  
**a1.1**

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Lot 654  
Scottsdale, AZ 85255

**Legal Description:**  
marts camp lot 300  
county of placer  
state of california  
apn: 106-180-004-000

**good residence**

10507 kaweah court  
truckee, california

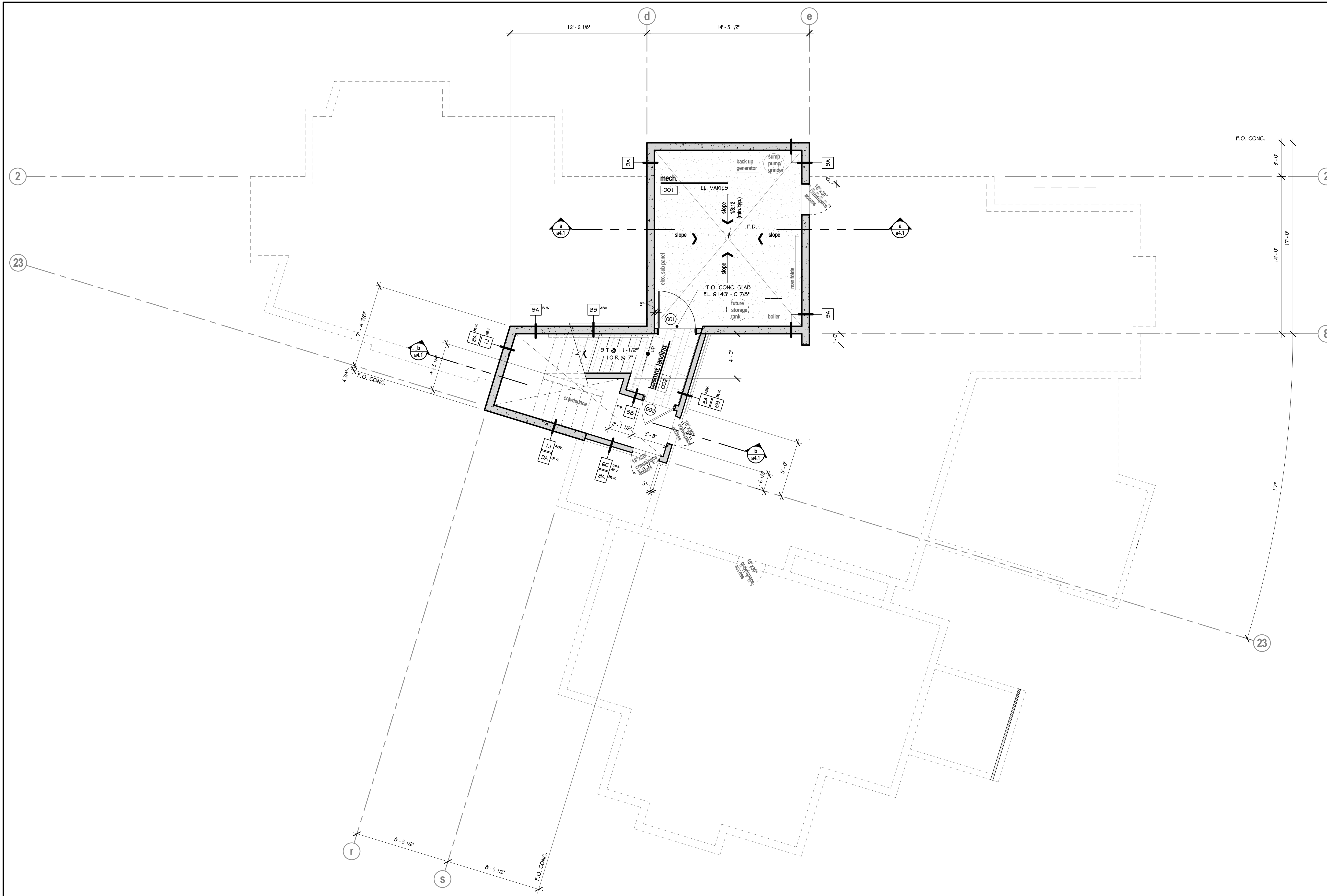
**building department  
submittal**

**Revisions:**

Project No.: 09091  
Drawn: kbg\_ach  
Date: 21 december, 2010  
Scale: 1/4" = 1'-0"

Sheet Title:  
**mech. basement  
level floor plan**

Sheet No.:  
**a2.1**



**conditioned area calculations.:**

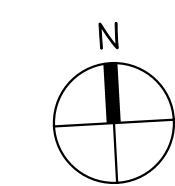
(per marts camp)

mech./basement level	
conditioned area:	92 ft <sup>2</sup>
unconditioned area:	332 ft <sup>2</sup>
<b>total:</b>	<b>424 ft<sup>2</sup></b>

**mech. basement level**  
scale: 1/4" = 1'-0"

**legend:**

	DESIGNATES WD. STUD WALL		DESIGNATES DOOR (SEE DOOR SCHEDULE ON SHT. A5.1)
	DESIGNATES CONCRETE WALL		DESIGNATES WINDOW (SEE WINDOW SCHEDULE ON SHT. A5.2)
	DESIGNATES CONCRETE WALL ABV.		DESIGNATES WALL ASSEMBLY (SEE WALL ASSEMBLIES ON A0.3)
	DESIGNATES LOW WALL OR RAILING		
	DESIGNATES STONE VENEER (SEE WALL ASSEMBLIES ON A0.3)		



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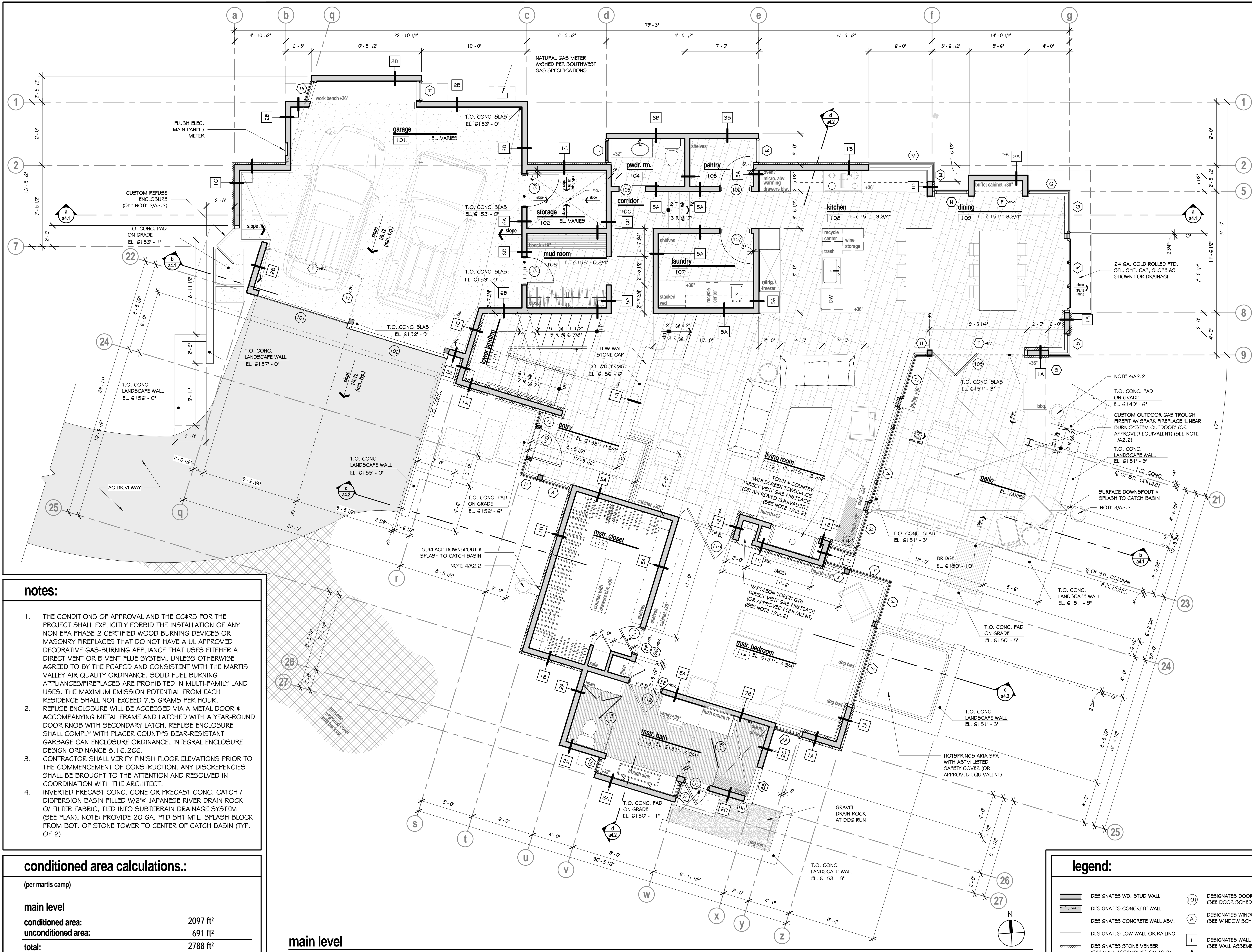
Legal Description:  
marts camp lot 300  
county of placer  
state of california  
apn: 106-180-004-000

**good residence**  
10507 kawah court  
truckee, california

**building department submittal**

Revisions:  
  
  
  
Project No.: 09091  
Drawn: kbg\_ach  
Date: 21 december, 2010  
Scale: 1/4" = 1'-0"

Sheet Title:  
**main level floor plan**  
  
Sheet No.:  
**a2.2**



- notes:**
1. THE CONDITIONS OF APPROVAL AND THE CC&RS FOR THE PROJECT SHALL EXPLICITLY FORBID THE INSTALLATION OF ANY NON-EPA PHASE 2 CERTIFIED WOOD BURNING DEVICES OR MASONRY FIREPLACES THAT DO NOT HAVE A UL APPROVED DECORATIVE GAS-BURNING APPLIANCE THAT USES EITHER A DIRECT VENT OR B VENT FLUE SYSTEM, UNLESS OTHERWISE AGREED TO BY THE PCAFCD AND CONSISTENT WITH THE MARTIS VALLEY AIR QUALITY ORDINANCE. SOLID FUEL BURNING APPLIANCES/FIREPLACES ARE PROHIBITED IN MULTI-FAMILY LAND USES. THE MAXIMUM EMISSION POTENTIAL FROM EACH RESIDENCE SHALL NOT EXCEED 7.5 GRAMS PER HOUR.
  2. REFUSE ENCLOSURE WILL BE ACCESSED VIA A METAL DOOR & ACCOMPANYING METAL FRAME AND LATCHED WITH A YEAR-ROUND DOOR KNOB WITH SECONDARY LATCH. REFUSE ENCLOSURE SHALL COMPLY WITH PLACER COUNTY'S BEAR-RESISTANT GARBAGE CAN ENCLOSURE ORDINANCE, INTEGRAL ENCLOSURE DESIGN ORDINANCE 8.16.266.
  3. CONTRACTOR SHALL VERIFY FINISH FLOOR ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION AND RESOLVED IN COORDINATION WITH THE ARCHITECT.
  4. INVERTED PRECAST CONC. CONE OR PRECAST CONC. CATCH / DISPERSION BASIN FILLED W/2" JAPANESE RIVER DRAIN ROCK O/ FILTER FABRIC, TIED INTO SUBTERRAIN DRAINAGE SYSTEM (SEE PLAN); NOTE: PROVIDE 20 GA. PTD SHT MTL. SPLASH BLOCK FROM BOT. OF STONE TOWER TO CENTER OF CATCH BASIN (TYP. OF 2).

**conditioned area calculations.:**

(per marts camp)

main level	
conditioned area:	2097 ft <sup>2</sup>
unconditioned area:	691 ft <sup>2</sup>
total:	2788 ft <sup>2</sup>

**main level**  
scale: 1/4" = 1'-0"

**legend:**

	DESIGNATES WD. STUD WALL		DESIGNATES DOOR (SEE DOOR SCHEDULE ON SHT. A5.1)
	DESIGNATES CONCRETE WALL		DESIGNATES WINDOW (SEE WINDOW SCHEDULE ON SHT. A5.2)
	DESIGNATES CONCRETE WALL ABV.		DESIGNATES WALL ASSEMBLY (SEE WALL ASSEMBLIES ON AO.3)
	DESIGNATES LOW WALL OR RAILING		
	DESIGNATES STONE VENEER (SEE WALL ASSEMBLIES ON AO.3)		

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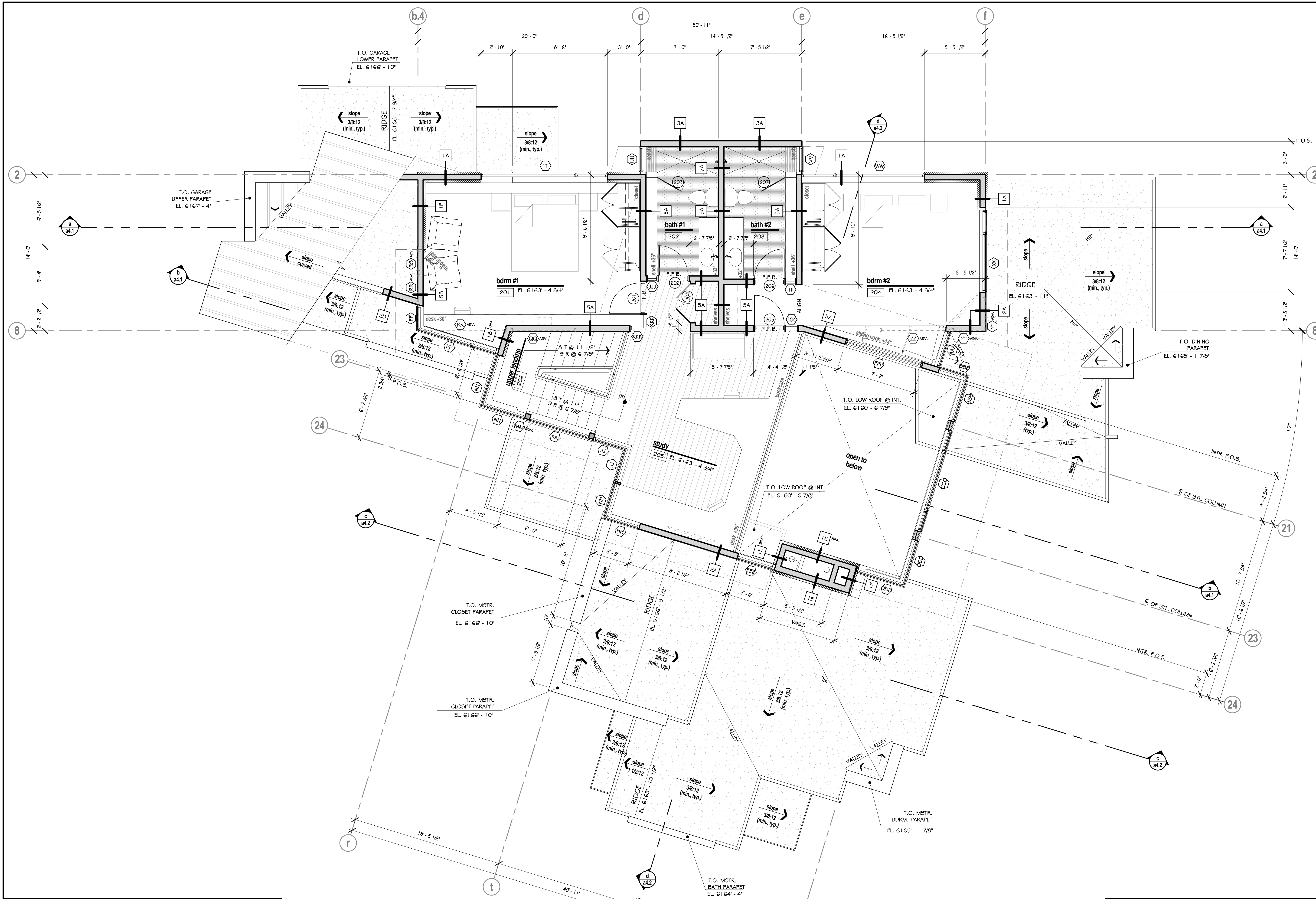
**building department  
submittal**

Revisions:

Project No.: 09091  
Drawn: kbg\_ach  
Date: 21 december, 2010  
Scale: 1/4" = 1'-0"

Sheet Title:  
**upper level floor plan**

Sheet No.:  
**a2.3**



**conditioned area calculations.:**

(per marts camp)

upper level	
conditioned area:	979 ft <sup>2</sup>
unconditioned area:	63 ft <sup>2</sup>
<b>total:</b>	<b>1042 ft<sup>2</sup></b>

**upper level**  
scale: 1/4" = 1'-0"

**legend:**

	DESIGNATES WD. STUD WALL		DESIGNATES DOOR (SEE DOOR SCHEDULE ON SHT. A5.1)
	DESIGNATES CONCRETE WALL		DESIGNATES WINDOW (SEE WINDOW SCHEDULE ON SHT. A5.2)
	DESIGNATES CONCRETE WALL ABV.		DESIGNATES WALL ASSEMBLY (SEE WALL ASSEMBLIES ON AO.3)
	DESIGNATES LOW WALL OR RAILING		
	DESIGNATES STONE VENEER (SEE WALL ASSEMBLIES ON AO.3)		

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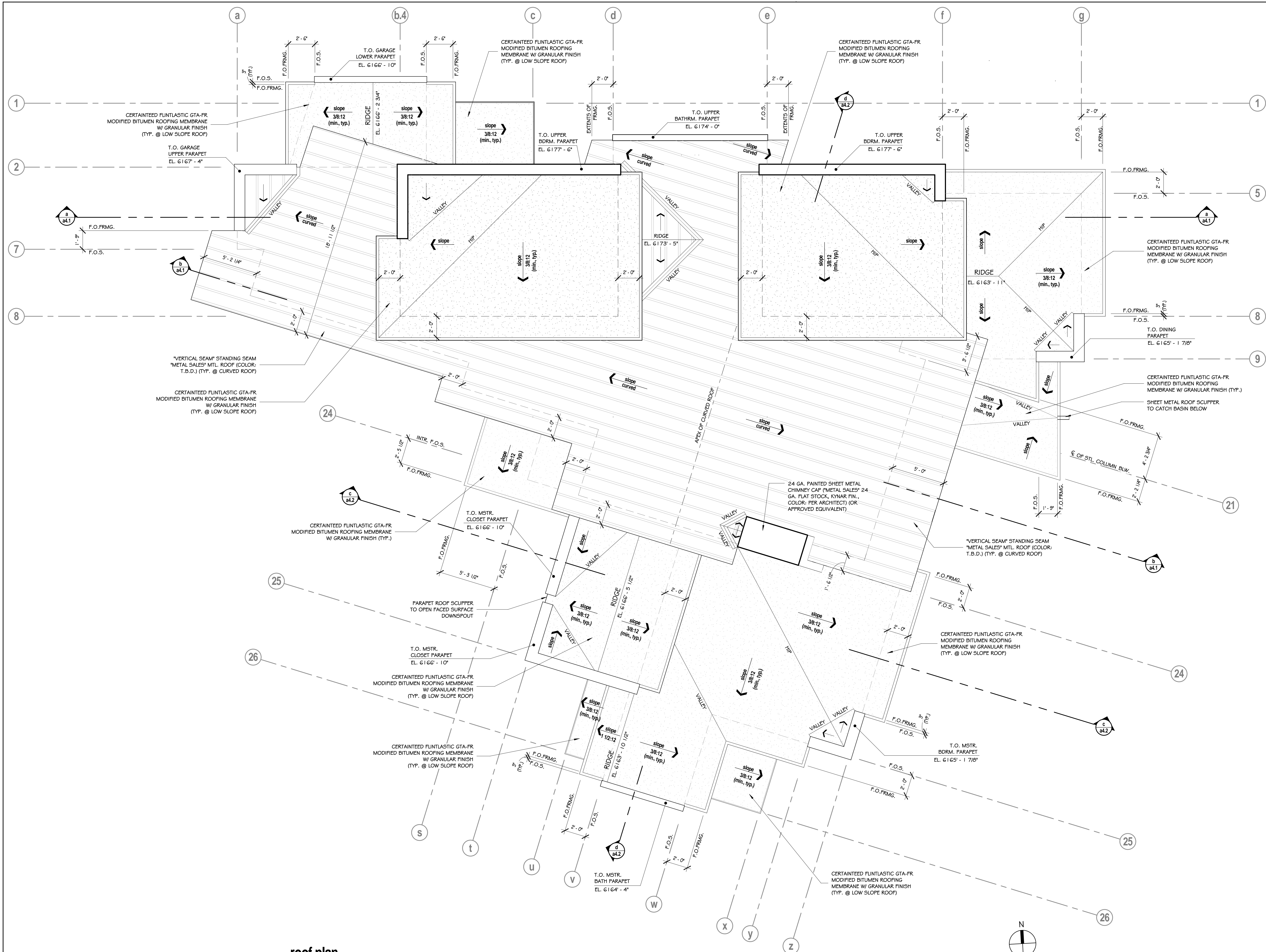
**building department  
submittal**

Revisions:

Project No.:  
09091  
Drawn: kbg\_ach  
Date: 21 december, 2010  
Scale: 1/4" = 1'-0"

Sheet Title:  
**roof plan**

Sheet No.:  
**a2.4**



**roof plan**  
scale: 1/4" = 1'-0"

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