



# ARCHITECTURE HANDBOOK

## DESIGN GUIDELINES & IMPROVEMENT REQUIREMENTS

VERSION 3.0

MARCH 14, 2011

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# 1 - PREFACE

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- ARCHITECTURE REVIEW PRINCIPLES
- ELEMENTS OF COMPOSITION
- ARCHITECTURE REVIEW PROCESS
- NOTICES



# 1 - PREFACE

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## 1.1 ARCHITECTURE REVIEW PRINCIPLES

*“No house should ever be on a hill or on anything. It should be of the hill. Belonging to it. Hill and house should live together each the happier for the other.”*

— Frank Lloyd Wright

The homes created in MARTIS CAMP will benefit from the collective design wisdom gained from hundreds of years of great mountain architecture from around the world. With thoughtful attention during the design and construction phases—from site planning to massing to creating the detail—MARTIS CAMP will be the criterion by which all other mountain communities compare.

MARTIS CAMP’s Architecture Review will focus on quality rather than style. Compatibility with the MARTIS CAMP concept will supplant prescriptive limits on the architecture.

MARTIS CAMP’s architecture will be diverse—within reasonable limits. There will be few absolute restrictions. Of those absolutes, many will be in response to Placer County’s Conditions of Approval which are not able to be waived.

Except as required by the Western Martis Valley Community Plan Design Guidelines, there will be no predetermined range of allowable materials or colors. Rather, each architect will propose a selection based on what is appropriate for the particular site.

The rugged charm of remarkable mountain architecture can be taken to new heights by way of exemplary designs responding to current needs while actively recalling the distinguished camp lifestyles rarely found today.

The illustrations that follow are examples of approvable architecture at MARTIS CAMP.



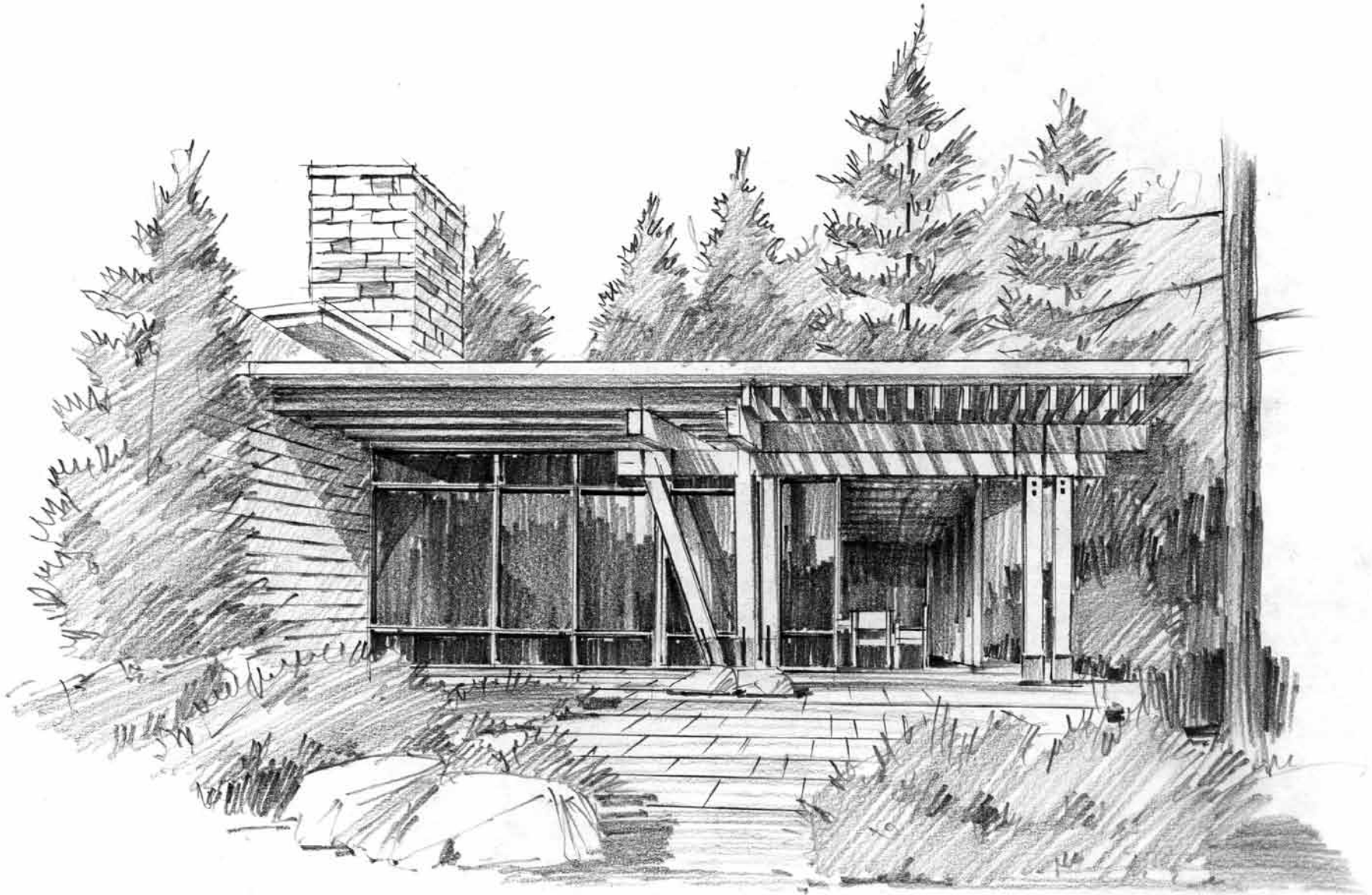


MOUNTAIN ARCHITECTURAL ELEMENTS WITH VERTICAL EXPRESSION



RUGGED STONE HOME WITH SIMPLE MASSING





ROOF FORM THAT HOLDS A BLANKET OF SNOW



STRONG, RUGGED ROOF FORMS





SIMPLE, BOLD STATEMENT



EXPRESSIVE MOUNTAIN CHARACTER



## 1.1 ARCHITECTURE REVIEW PRINCIPLES CONTINUED

Some properties, screened from off-site views with a dense forest canopy, may accommodate a more-varied expression of materials and colors than sites which are more visible.

The MARTIS CAMP Architecture Review process depends on a heightened awareness and responsibility of both Owner and Architect. Inherent to the design freedom afforded by this approach is the implicit understanding that the reviews will be more subjective rather than the customary prescriptive approach to compliance.

MARTIS CAMP is intended to inspire Owners and Architects to create exceptionally designed homes. It will provide Owners an opportunity for expanded individual preferences, provided the resultant product is one of design excellence. Ultimately, the success of projects will be guided by the understanding and cooperative working relationships created between all parties involved.

There will be rules. The greatest freedom of architectural expression will be allowed for those projects which demonstrate the highest qualities of design. Few exceptions will be granted for poorly-thought-out projects or for homes with principal design features created primarily to be in compliance with the requirements of this Handbook.

Design review is subjective by nature. With fewer constraints, design review for MARTIS CAMP will certainly be more subjective than compliance with a pre-determined list of design criteria. The Architect's reward for acceptance of this premise is the expanded potential for diverse, but very high-quality design. In return for this freedom of architectural expression, property owners must develop a full acceptance, a quid pro quo if you will, of the design choices of one's neighbors at MARTIS CAMP.

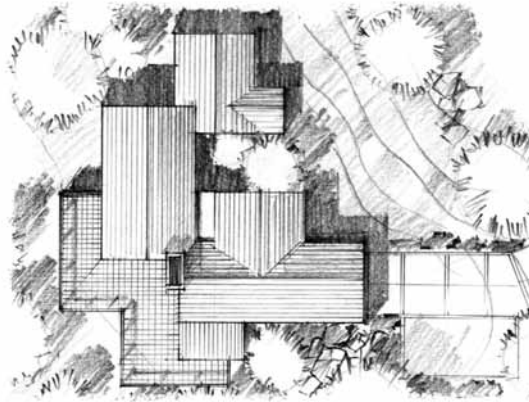
In essence, we are creating a variance for design excellence as compared to traditional methods. Architects will be expected to execute extremely thoughtful design concepts for their particular site. The results can be residential architecture of the highest echelon. Much of this work will defy stylistic labels and therefore would be difficult to achieve under traditional style-based, prescriptive requirements.

## 1.2 ELEMENTS OF COMPOSITION

*In the interest of creating the highest level of design integrity for homes at MARTIS CAMP, each project submitted for review will be evaluated for conformance to the following Elements of Composition:*

### 1] Site Integration

Each home in MARTIS CAMP must be integrated into its particular setting. This includes proper location within the setbacks, well thought-out floor plans and exterior massing complementing existing grades, adequate integration of drainage responding to the existing natural and proposed future surface water flows and lastly, thoughtful and ecologically-responsible exterior materials.



### 2] Scale

Homes must be appropriately scaled relative to the size of the property as well as vertical massing appropriately scaled relative to the site context. In general, the scale for each home shall be as small as possible while remaining consistent with the Owner's needs. Homes on heavily forested sites will allow for greater vertical limits than those in open areas.



### 3] Proportion

Each design element of the home should have an inherent proportional relationship to that of the entire structure. This may be created by developing a hierarchy of massing that relates to the programmatic elements of the home. For example, a Great Room volume should appear hierarchically dominant over a bedroom suite and a pedestrian Entry may have more emphasis than automobile storage. This also applies to roofs, windows, doors, fascias, details, posts, entry areas, exterior walls and site walls. The goal is for all design elements within the home to be in pleasing proportion to each other and to the composition as a whole.



### 4] Rhythm

Rhythm refers to design continuity within the project's massing and detailing. Sometimes this occurs as regular or harmonious recurrence of overall forms; window and door openings, roof lines, structural support elements, colors and materials. Architecture should exhibit a discernable rhythm, including sequence by component size, shape and pattern. Even apparently random patterns can create pleasing rhythms.



## 5] Balance

Balance is measured by the overall composition of visual forms; the exterior material placement and integration, the proportion of window area to wall mass, and the composition of building masses.



## 6] Color

The use of color that is an integral component of the design and the overall context is extremely important. Homes designed with consideration for color application from the start will be able to use more interesting and sophisticated compositions, as compared to designs that have colors selected at the end of the design process. Within the constraints provided by the Western Martis Valley Community Plan Design Guidelines, MARTIS CAMP supports the use of color beyond simplified, end-applied applications. The goal is to create a diversity of color that adds character to the entire community by complementing the natural setting of the specific site.

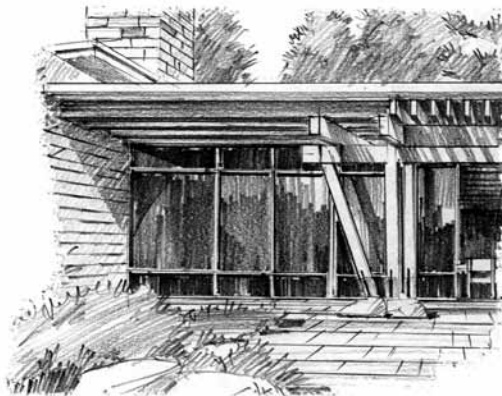
## 7] Texture

Our region's intense mountain sunlight reflects a great amount of light energy off smooth surfaces, so a rich and varied palette of textures is needed to minimize the reflectivity of walls and roofs. Although, overly dramatic texturing must be controlled, as it can be equally disruptive to the visual environment. Random subtle texturing is preferred to visually-distracting repetitive patterns.



## 8] Shadow

A vital component of design is the use of shadow. The use of depth in the architectural design to compensate for the strong sun evident at MARTIS CAMP, is desirable. Without attention to this element of design, a home may appear to lack compatibility with its context. A transitional space or architectural feature, such as a covered walkway bridging an interior space to its exterior counterpart, is a necessary component to augment the visual appeal and livability of the home. Additionally, depth in door and window openings will add value to the visual quality of the home.





## 9] Material Integration

Architecture Review does not stipulate specific criteria regarding the allowable type and placement of exterior materials. Rather it relies on the expertise of the design professional to create solutions that respond to the needs of the particular site, while complying with the requirements of the Western Martis Valley Community Plan Design Guidelines. The purpose of this element is to ensure that in addition to providing the right type and amount of an exterior material, artfulness in overall composition is also achieved. The combination of textures shall be complementary rather than competing. Colors shall be compatible and their placement must enhance the other elements of design integrity such as balance, appropriateness and visual strength.



## 10] Visual Strength

One of the determinants of a design's visual strength is how well the structure's components look and feel when assembled. A well-composed home that has excelled in all design elements listed here will have visual strength.





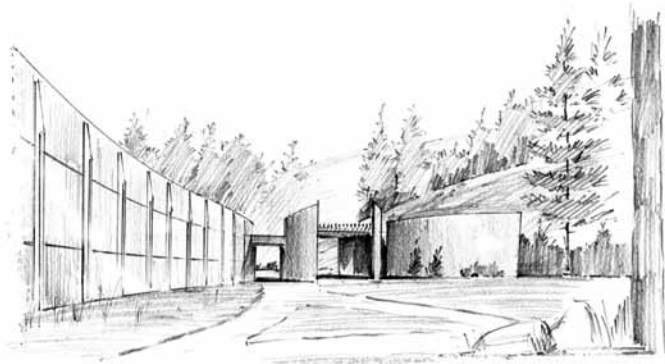
## 11] Appropriateness

The degree of diversity of individual design expression will be measured against the goals for the overall character of MARTIS CAMP. Some designs may be deemed inappropriate or incompatible with these goals and are not necessarily a reflection of the quality of the design. Appropriateness also applies to all other elements listed here with regard to the components being compatible in scale, materials, color selection, etc.



## 12] Artistic Endeavor

This element recognizes that the criteria presented here are not intended to prescribe nor inhibit the overall artistic quality of a design submission. A design may be exempted from particular Architecture Review criteria if the design successfully incorporates all other elements contained herein. The exception must not cause an undue negative impact to neighboring properties or to the community as a whole.



Creative attention to each of these Elements of Composition marks the difference between a design which succeeds and tracks efficiently through the MARTIS CAMP Architecture Review process and one which will likely not be approved.

### 1.3 ARCHITECTURE REVIEW PROCESS

The MARTIS CAMP Architecture Review process is intended to be an interactive collaboration between the Owner, his or her Architect and Architecture Review. This partnership will share a common goal—the realization of a unique, well-crafted design solution for each property, without overstepping the reasonable limits afforded by this expanded opportunity for design expression.

Licensed Architects are required for homes in MARTIS CAMP. Should an Owner wish to use a design professional, who is not licensed to practice architecture, he or she must contact the Architecture Review office to discuss the selection process in greater detail.

With the reduction of prescriptive mandates, communication between the parties is essential to avoid unnecessary or costly pursuit of an unacceptable design solution. To that end, MARTIS CAMP will maintain open-door accessibility for the Architect to test concepts along the way in an informal setting to assure that each design solution is progressing towards a suitable outcome.

Meetings will not be on a pre-determined schedule, instead they will be held upon request by the Architect or Owner. The Architect and Owner are welcome to attend meetings during which their project is being reviewed.

Some of the formalized checkpoints along the way—the Preliminary and Final Design submissions—may look the same as the traditional process; however, if all parties have done their part, these reviews become confirmations of a well-communicated concept as it evolves toward construction.

The six phases of the MARTIS CAMP Architecture Review process are summarized as follows:

1] Getting Started

Once an Owner decides to begin the design for a new home at MARTIS CAMP, we want to know. This informal first conversation may occur over a cup of coffee at the Architecture Review office or by telephone for the out-of-town Owner. One of the principal goals of the meeting will be to familiarize Architecture Review with the Owner's intentions to create a home at MARTIS CAMP prior to the design process occurring. We may learn the name of the Architect, or if a selection has not occurred, Architecture Review may help with selection criteria for the Owner to consider in their determination.

2] Orientation & Pre-Design Meeting

This meeting between the Architect and Architecture Review, along with the Owner if desired, shall occur on site. Specific site constraints will be identified, the Design Review principles will be reviewed and questions will be addressed. As part of an Architect's first project in MARTIS CAMP, part of the meeting's agenda will include orientation of the Architect to the Architecture Review process. The topographic survey and site analysis is required at this stage.

3] Concept Review Meeting

This meeting will allow the Architect to present the initial concept for the structures and the site for a formalized response from Architecture Review prior to development of the design for the Preliminary Submittal. This step in the process is significant in that it provides a 'Go' or a 'No Go' based on conceptual design sketches prior to the expenditure of a great deal of time on a design. The first-half of the Architecture Review fee is due at this meeting.

#### 4] Preliminary Design Submittal

This will be the most defining checkpoint in the process. It is during Preliminary Design Submittal that the Architect presents the developed concept representing the accumulated knowledge of site visits, conceptual reviews, and his or her creative endeavor. Along with the customary drawings associated with this step in the process, a massing model of the proposed structure and its site are required. Upon approval, the design is determined and construction drawings may begin. Upon satisfaction of this phase, Architecture Review will provide the applicant with a “wet stamp” which will allow for the submittal of plans to Placer County for building permit review.

#### 5] Final Design Submittal

Architecture Review will scan plans ready for construction verifying conformance with the previously-approved Preliminary Design. Once the Final Design has been approved by Architecture Review and Placer County has released the Building Permit, the Pre-construction meeting can be held.

#### 6] Construction Phase

Compliance with the requirements listed in the Construction Procedures and Construction Regulations section of this Handbook is mandatory. Please see these sections for further details. The second-half of the Architecture Review fee is due at the beginning of this phase.

Specific checklists for each of the steps listed above should be requested by the Applicant prior to beginning the review process. Contact Architecture Review for additional information current at the time of your project.

## 1.4 NOTICES

This Architecture Handbook is a resource for the MARTIS CAMP Property Owner and his or her Architect, Landscape Consultant and Contractor. The Handbook is to be used in conjunction with other related publications as a guide through the approval process.

The requirements listed in the following pages are the minimum level of design response required for project approval. It is the goal of Architecture Review, however, to encourage a greater level of response in the interest of creating an example of the finest mountain retreat architecture in the world.

References in this document to Architecture Review may refer to the reviewing committee or their designated representatives.

References to Design Guidelines, Design Review or Design Review Committee or similar language in other documents shall be construed to mean Architecture Review.

The restrictions noted in the Architecture Handbook do not represent the entirety of design, construction and use restrictions applicable in MARTIS CAMP. Additional restrictions are also contained in the CC&Rs, Development Notebook Sheets, the Western Martis Valley Community Plan Design Guidelines, Placer County Conditions of Approval, Rules & Regulations and the Placer County Zoning Ordinances and Codes. Many of the above mentioned documents remain subject to change from time-to-time.

Where reference is made to an ordinance or code being enforced by Placer County, it shall be understood that the specific limitation referenced is a restriction currently required by Placer County as of the date of this Handbook. It is the Architect's responsibility to review, understand and comply with all applicable codes and ordinances in effect at the time your application is submitted to MARTIS CAMP Architecture Review.

If a term used in the Architecture Handbook is not defined in the Handbook, the definition shall be the one used in the Governing Documents.

The Architecture Handbook and the Appendices will be updated periodically as additional needs are identified. As the stipulations included in the Handbook may change from time-to-time, it is the Architect's responsibility to ensure their project is in compliance with the most recent version of the Architecture Handbook at the time of their project's application.

The Architecture Review fee for Estate parcels is currently \$10,000 and for Cabin sites is \$6,000. This amount is subject to change from time-to-time. One-half will be collected at the Pre-Design Meeting; one-half will be collected at the beginning of construction. Should a project not continue from the design phase into construction, the second-half of the fee will not be collected. No refund will be provided on projects that begin, but do not finish one of the two phases.

The requirements noted in this Architecture Handbook shall be considered independent of each other. Should a particular requirement of this publication be found to be inconsistent with other requirements or otherwise not applicable, that finding shall not jeopardize the remainder of the publication's requirements which shall remain enforceable.



## 2 - SITE

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- COMBINED PROPERTY HEATED FLOOR AREA
- GUEST HOUSES & ACCESSORY STRUCTURES
- SITE ANALYSIS
- LANDSCAPE DESIGN CONSIDERATIONS
- LANDSCAPE & HARDSCAPE
- PROTECTION OF TREES, ROCKS & OTHER  
NATURAL FEATURES
- BUILDING ENVELOPES & EASEMENTS
- DRIVEWAYS
- BEST MANAGEMENT PRACTICES
- GRADING
- COVERAGE
- TOPOGRAPHY





## 2 - SITE

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### OVERVIEW

*Thoughtful planning can produce a design that will fit into the MARTIS CAMP environment in such a way that its impact is negligible to neighboring parcels and the MARTIS CAMP community at large.*

Place buildings on properties such that their visual impact on neighboring parcels is minimized. The most extraordinary designs will be those that assimilate gracefully into a site rather than compete with the existing landforms and vegetation.

There will be no need to shy away from strong forms or bold statements, but these should not be the principal generators of the forms.





INTEGRATION WITH THE FOREST IS AN ESSENTIAL PRINCIPLE OF MARTIS CAMP

## 2.1 COMBINED PROPERTY FLOOR AREA

*Combining properties results in an additional 6,000 square feet of allowed building area per added property.*

When two or more Estate parcels are combined, allowable floor areas can be adjusted accordingly.

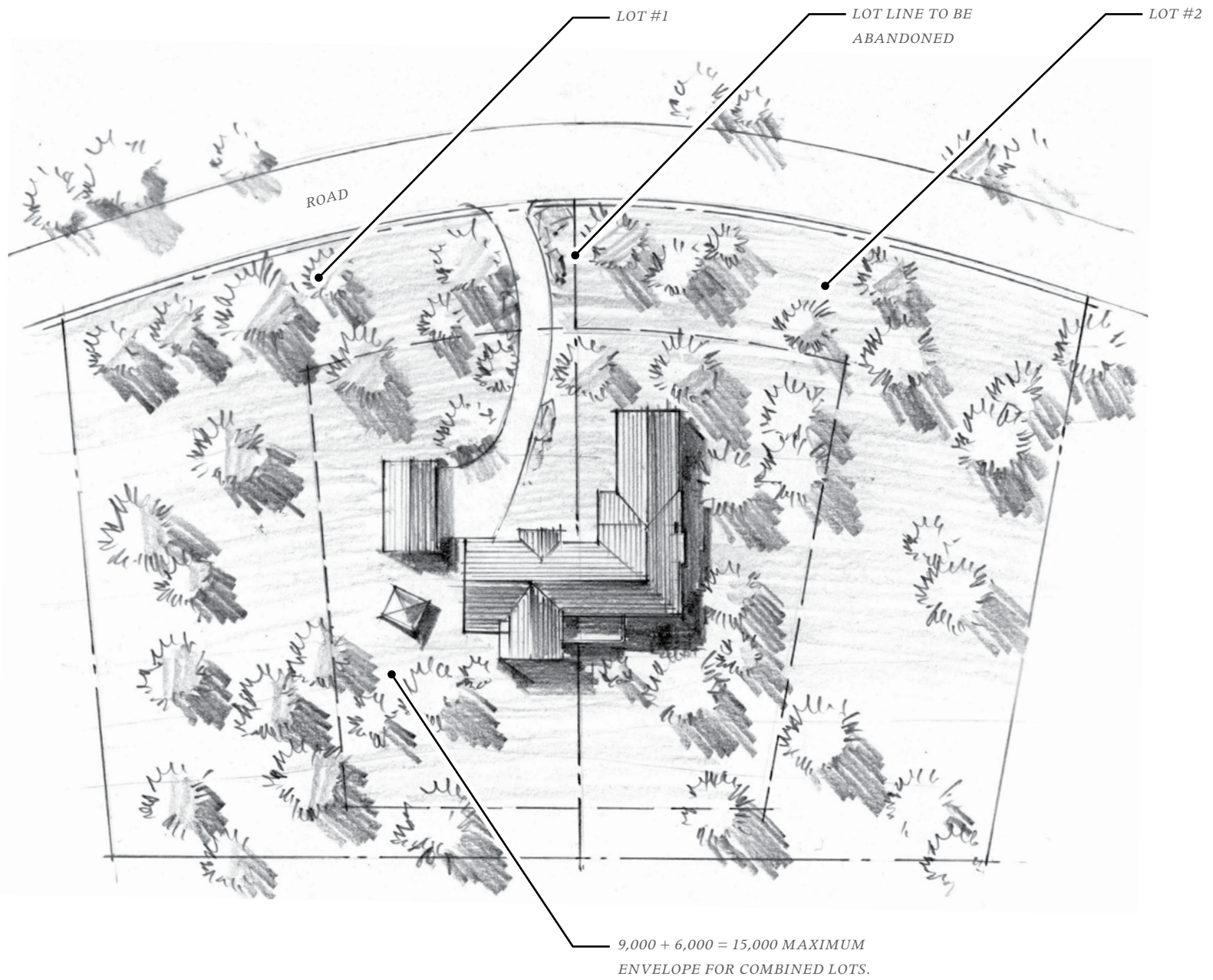
The new allowable floor area for the combined sites shall be the sum of the larger allowable floor area of the original parcels, plus 6,000 square feet of additional floor area for each adjacent property to be included in the combined property.

For example, the combination of the two lots which allowed 9,000 square feet each as individual properties would result in an allowable floor area for the combined sites of 15,000 square feet—9,000 square feet for one property plus 6,000 square feet for the additional property. In like manner, combination of three parcels would result in an allowance of up to 21,000 square feet.

Cabin sites, when combined, are allowed a maximum heated floor area of no more than 3,250 square feet.

There are no minimum size requirements at Martis Camp.

Floor area means gross floor area, including the total floor area of each floor of all buildings on a site, including internal circulation [halls, lobbies, stairways, shafts and chases, enclosed porches and balconies, etc.] storage and equipment space, as measured from the outside faces of exterior walls. If a space has a sloped ceiling due to structural components, no portion of the room measuring less than five feet from the finished floor to the finished ceiling shall be included in any computation.



MAXIMUM FLOOR AREA FOR COMBINED PROPERTIES



## 2.2 GUEST HOUSES & ACCESSORY STRUCTURES

*The benefits of creating compounds of separated structures for Guest Houses and other accessory structures are multiple. They not only increase the options for property owners to create discreet environments for separate activities and can reduce the functional needs for structure, maintenance and cleaning, but perhaps most importantly, they can reduce the impact of larger structures on the environment. Consider clustering a grouping of smaller buildings.*

Each Estate parcel contains the development opportunity to construct a primary home, a guest house containing a full kitchen and bathroom and accessory structures as allowed by Placer County. The combined floor area of structures may not exceed the total permitted for the property as noted in the individual Development Notebook Sheet.

Placer County limits the floor area of guest houses containing a full kitchen and bathroom on the basis of property size as follows:

Property Size:	Maximum Floor Area:
1.0 acres – 2.29 acres .....	840 square feet
2.3 acres – 4.59 acres .....	1,000 square feet
4.6 acres and above .....	1,200 square feet

The allowances for guest houses are aggregate in the event of a combination of two or more parcels [lot line abandonment].

Residential accessory uses are permitted as follows:

- 1] Uses that are customarily part of a single-family dwelling but not limited to swimming pool houses, workshops, studios, garages and guest houses.
- 2] Floor area for all residential accessory uses is 1,600 square feet for parcels less than 5 acres. Floor area for parcels larger than 5 acres is restricted only by building coverage, maximum building size or as otherwise limited by Placer County Codes, Ordinances and Regulations.
- 3] Refer to Placer County Ordinances in effect at the time your project is submitted for additional information on limitations.



GUEST HOUSE WITH AN INTIMATE SCALE



GUEST HOUSE WITH ICONIC FORM



UNIQUE GUEST HOUSE OF LOGS AND EUROPEAN MOUNTAIN DETAILING

## 2.3 SITE ANALYSIS

*Thorough review of a property's planning considerations can result in an extraordinary project. Anything less than full attention to these considerations will result in a project never being what it could be, even with the most-accomplished architectural design.*

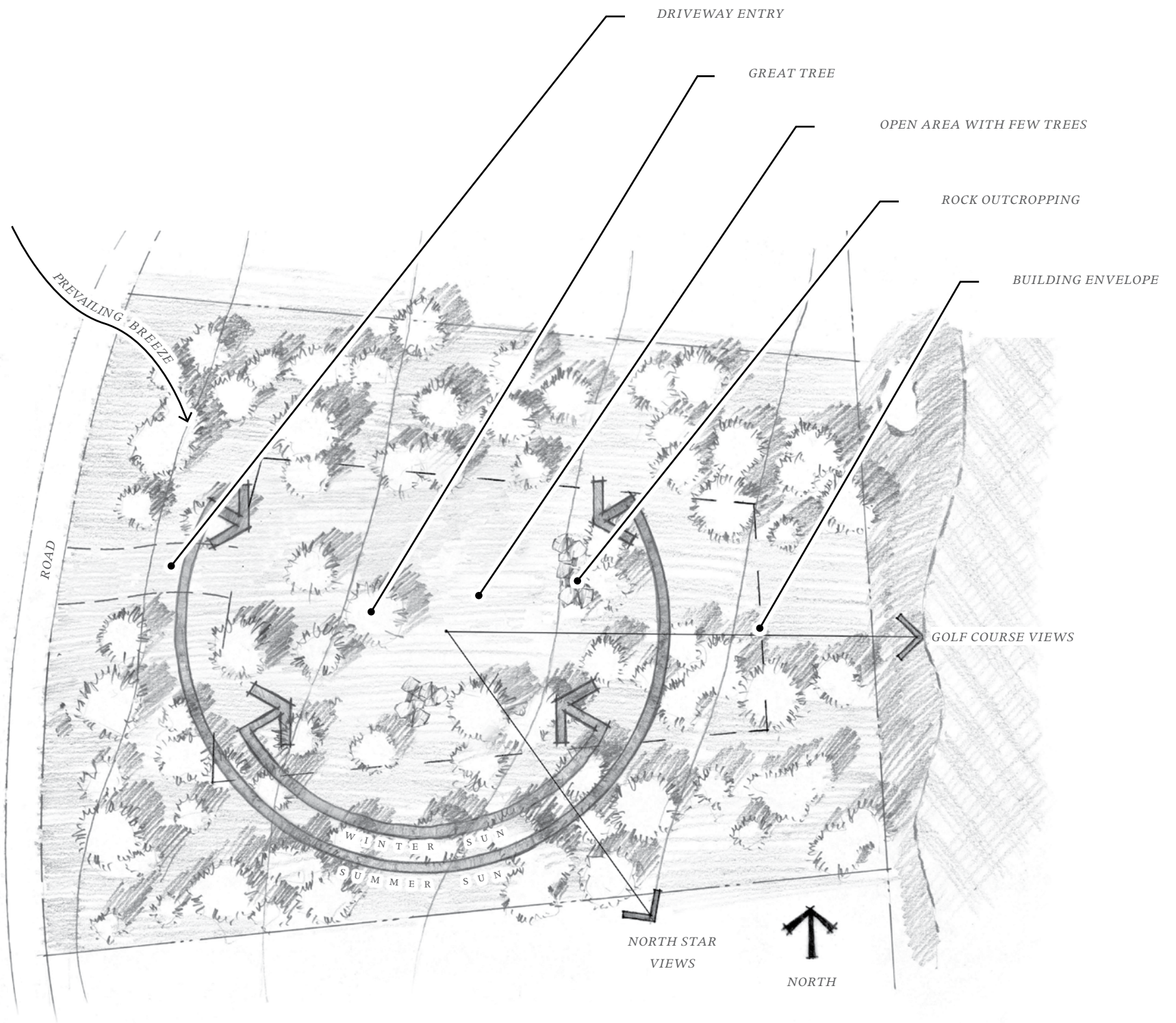
Visit the site prior to beginning the design process. Consider the local climate and site features—including the landform, vegetation, rock outcroppings, etc. when planning the architecture, landscape and hardscape for a property. Plan the programmed uses to respond to the constraints and opportunities identified in the analysis.

Prior to submitting your Preliminary Design package to Architecture Review, the Owner is required to secure a geotechnical report provided by a licensed Geotechnical or Civil Engineer.

A thorough understanding of a project site in advance of the design process is strongly encouraged. Following the recommendations of the geotechnical report in the early part of the design process is strongly encouraged. Submission of the analysis to Architecture Review is not required.

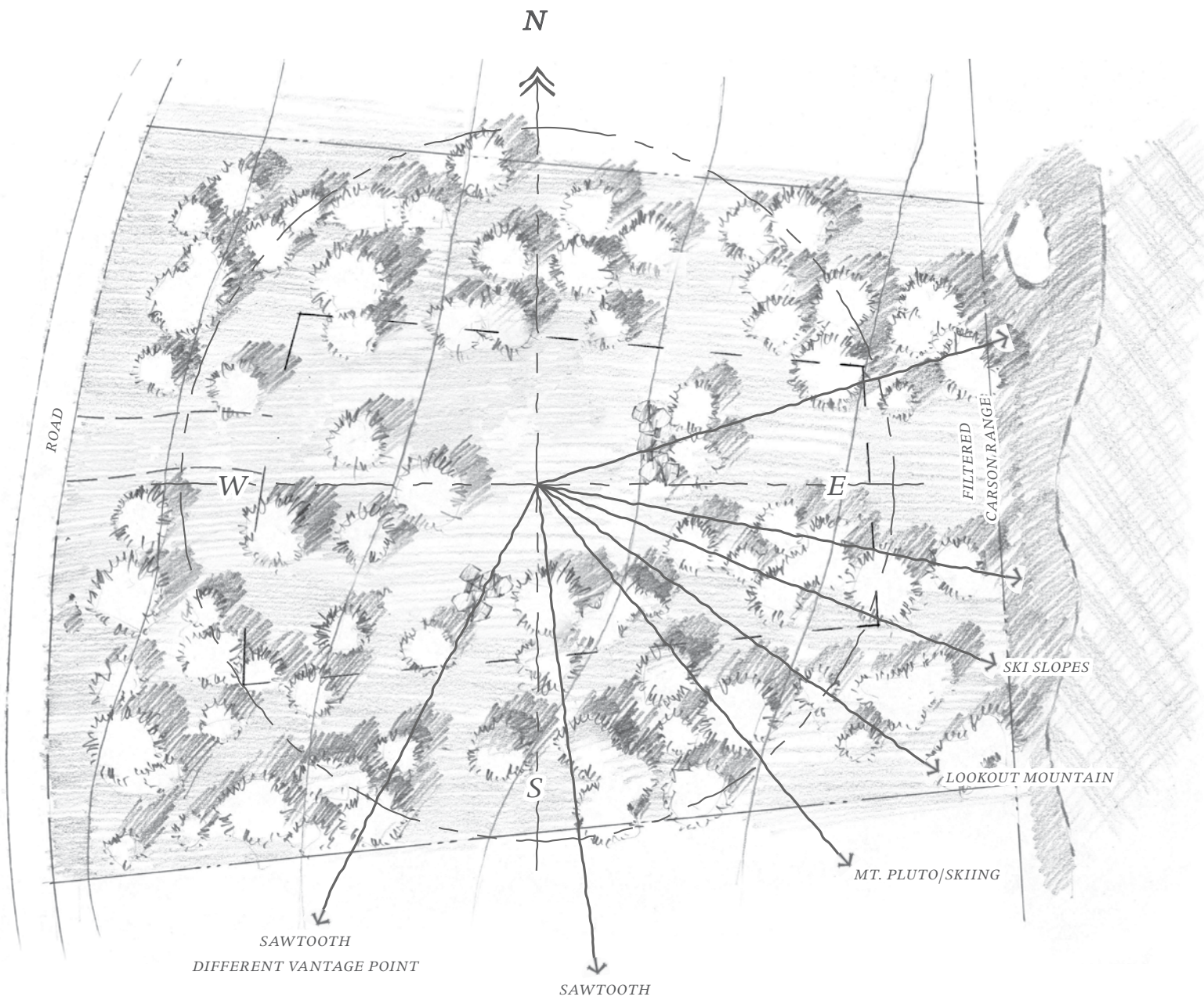
Contact Architecture Review for items to review and document [solar orientation, topography, views, vegetation, access, etc.] when conducting the site analysis.





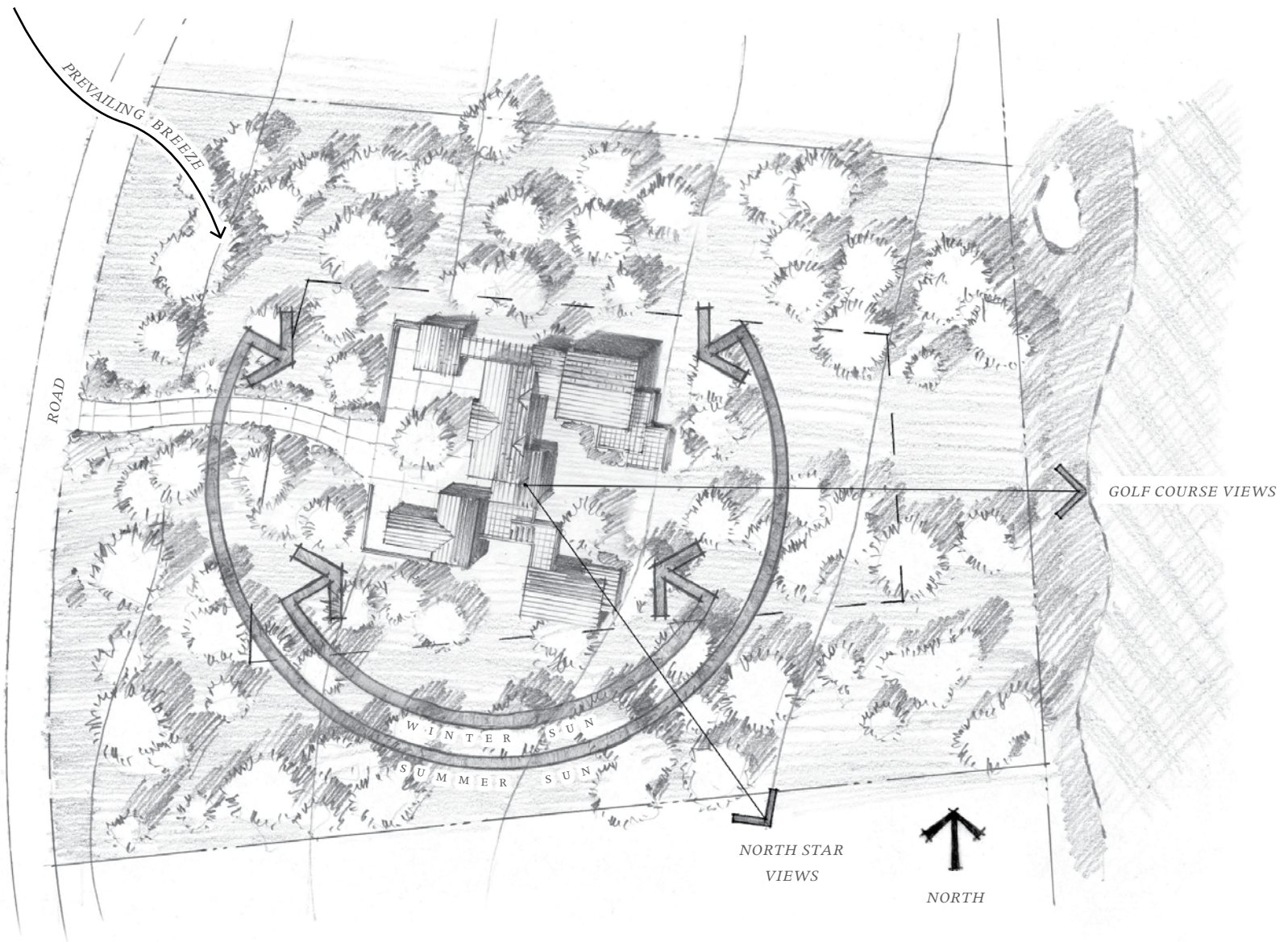
SITE ANALYSIS EXAMPLE





EXAMPLE OF A SITE VIEWS ANALYSIS





HOME RESPONDING TO SITE CHARACTERISTICS

## 2.4 LANDSCAPE DESIGN CONSIDERATIONS

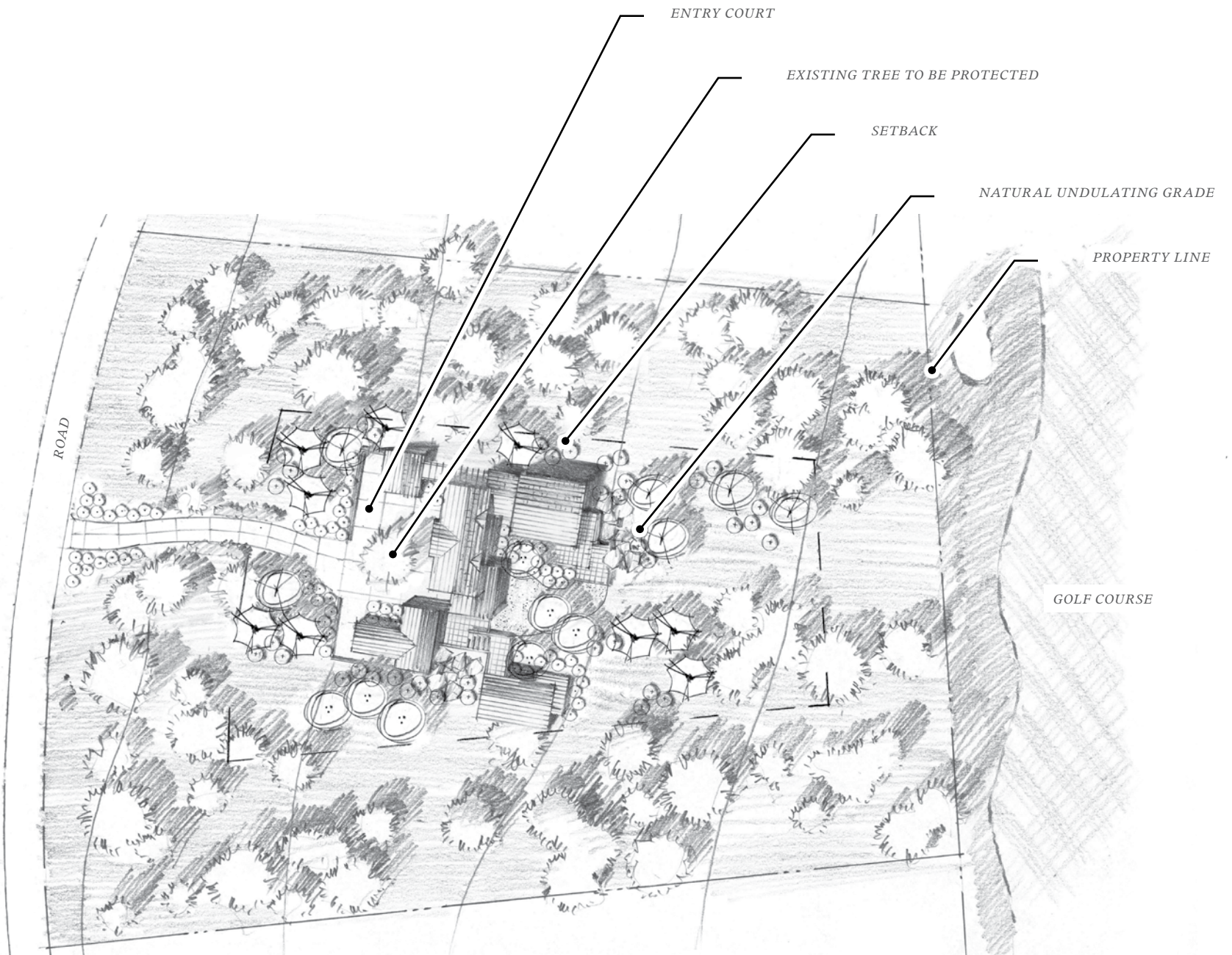
*“... the only source from which the art of landscaping can come is our native landscape. It cannot be imported from foreign shores and be our own.”*

— *Jens Jensen*

It is important to respect MARTIS CAMP’s sense of place when designing your project’s landscape. When you see Jeffery Pine surrounded by sagebrush and sulfur flower you know that you are on the Sierra’s east side. Plants with characteristics fitting to the site should be repeated again and again.

Also, keep in mind that every added structure creates new microclimates that may have been previously absent from the site. Inspiration for landscaping these sites can be found nearby when walking along a steep creek bank or by an enormous boulder or under an ancient tree.





**PLANT LEGEND**

	EXISTING TREE TO REMAIN		PROPOSED ACCENT TREE		NATIVE MEADOW SEED MIX
	PROPOSED NATIVE PINE TREE		PROPOSED LARGE NATIVE SHRUB		MANICURED TURF AREA
	PROPOSED NATIVE FIR		PROPOSED SMALL NATIVE SHRUB		

\* SALVAGED TREES FROM SITE TO SUPPLEMENT PROPOSED NURSERY STOCK TREES

**EXAMPLE LANDSCAPE PLAN**



## 2.5 LANDSCAPE & HARDSCAPE

*Create welcoming environments for outdoor living with generous areas of well-designed, distinct spaces for different micro-climates found on the site – sunny, partially-shaded and fully-shaded hardscape and landscape.*

A principal reason for owning a mountain retreat is to provide a time and place for families to spend together, to enjoy the spectacular settings—whether actively pursuing recreational activities or sharing a relaxing summer evening on a terrace or lawn.

In pursuit of these goals, provide places for such gatherings. Whether completely developed in the initial construction phase or reserved for future enhancements, situate each home on its site in such a way to allow for comfortable interaction in and around these exterior living areas.

Locate landscape and hardscape where full sun, partial sun and full shade or shadow is possible. The desire for sun in this climate can be dramatically contrary during different times of the day. It is not unusual to have a 90° afternoon followed by a 30° morning. As such, the most useable exterior environments will offer a number of options in response.

In planning landscaping for your property at MARTIS CAMP, plan for the following three landscape zones:

- 1] NATURAL;
- 2] TRANSITIONAL; and
- 3] ORNAMENTAL.

Landscaping in the setbacks will be limited mostly to NATURAL landscape consisting of pines, firs, sagebrush, bitterbrush, seed mixes and other naturally existing vegetation of species found growing on the site prior to development.

Placer County requires that revegetated ground surfaces must replicate natural conditions and is required in all areas of the site where the native vegetation is not intact—regardless of when or by whom the area was disturbed. Natural / organic ground cover materials [including pine needles] protect soil surfaces from erosion, foster natural seed germination and aid in the survival of the new transplants. Plant composition should include sizes and quantities that would occur on the specific site were it not disturbed. The goal is to save or recreate a landscape that appears native and flows seamlessly from one site to the next.



NATURAL ZONE

## LANDSCAPE & HARDSCAPE CONTINUED...

The TRANSITIONAL zone allows the use of a broader range of plant species native to the greater area but not necessarily found on the project's property. Aspen trees, while not native to every project site, may be approved for planting in Transitional zone landscaping.

The ORNAMENTAL zone may incorporate showy flowering species including, shrubs, herbaceous perennials, bulbs, annual color and turf.

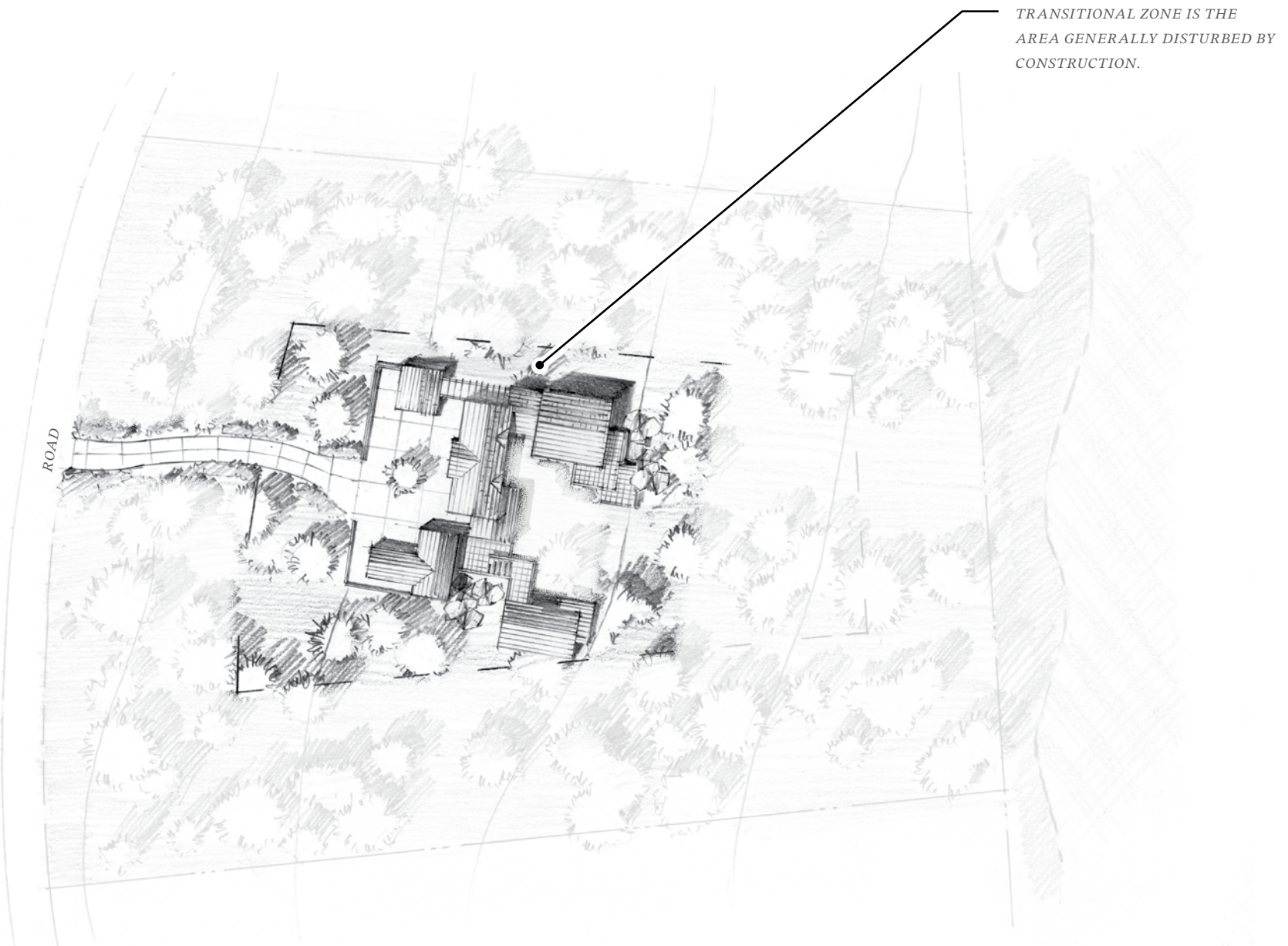
Generally, building setbacks will be allowed to contain NATURAL zone plants and some TRANSITIONAL zone plants. No specific limits are stipulated for the Transitional and Ornamental zones beyond very-restrained use of the Transitional zone plants within building setback limits. Placement of non-indigenous plants in these zones should appear natural, feathered into the landscape, and should not delineate setbacks

If landscape plans are not proposed with the project, indicate that all areas of the site will remain in the existing state and that only Natural zone planting, revegetation seed mixes and pine needles will be used for ground cover.

Consider the environmental impacts of your proposed landscape plan on the community when planning and installing plants. Select species that require minimal maintenance [pruning and spraying] and few resources [water and fertilizers]. Local experience has shown the use of organic soil management products is effective at promoting growth without the resulting imbalances to the existing ecosystems. Restore and maintain natural biodiversity when possible.

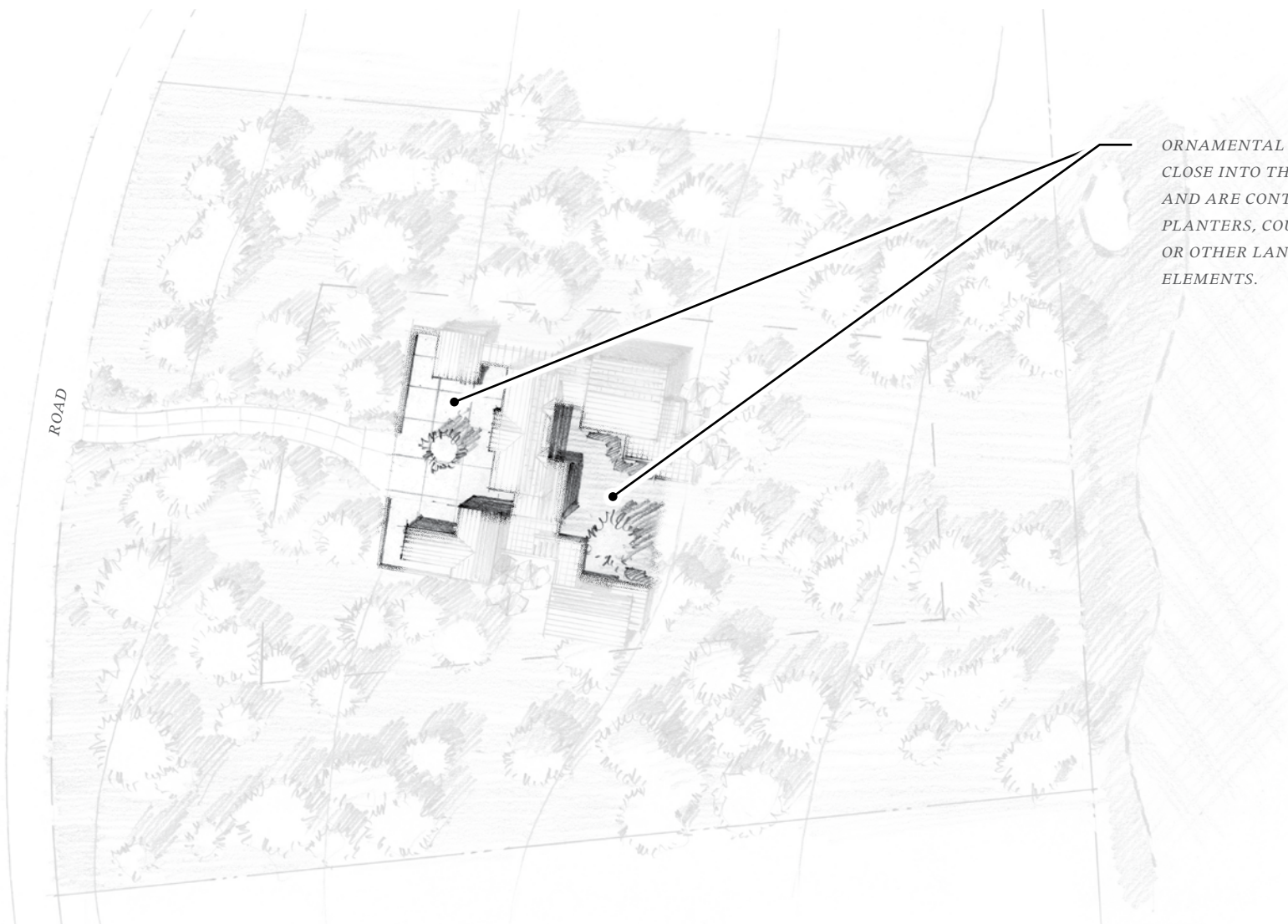
To ensure the best survival rates, new plantings in the Natural zone require supplemental watering for two to three years. Irrigation should taper off in the third year with only occasional watering during July, August and September. Generally, remove irrigation after the third year in the Natural zone in the interest of maintaining a look replicating the existing conditions.





TRANSITIONAL ZONE IS THE  
AREA GENERALLY DISTURBED BY  
CONSTRUCTION.

TRANSITIONAL ZONE



ORNAMENTAL ZONES ARE  
CLOSE INTO THE HOUSE  
AND ARE CONTAINED BY  
PLANTERS, COURTYARDS,  
OR OTHER LANDSCAPE  
ELEMENTS.

ORNAMENTAL ZONE

The use of low volume, drip irrigation in lieu of traditional rotary or pop-up spray systems will be required in most landscape portions of the project. Exemptions for areas of turf, when presented in conjunction with required containment devices, will be allowed.

Site walls are allowable whether defining landscape or hardscape areas or to assist with managing steep grades. Site walls must be complementary to the architecture's scale, materials, colors and textures. Site walls may not be used as a property line or setback line delineator.

Limited amounts of landscape screening may be proposed as long as the screening does not define property or setback lines.

Also be aware of Truckee Fire Protection District and California Department of Forestry requirements when assessing your property. Be certain that the species and density of plantings for both existing conditions and proposed plantings comply with these agency's regulations for defensible space surrounding structures.

Prior to beginning any landscape plan, contact Architecture Review to obtain a current landscape plant list for Natural, Transitional and Ornamental landscape zones, which will be amended from time to time. Additional information will also be provided on fire resistive planting and suggested species for screening.

Landscape plans must be reviewed and approved by Architecture Review prior to beginning such work. Similarly, tree or vegetation removal may only occur with the approval of the Architecture Review Administrator.



## 2.6 PROTECTION OF TREES, ROCKS & OTHER NATURAL FEATURES

*Design with, not over or around nature's elements.*

Wherever possible, save and incorporate the existing landforms, rock formations and significant vegetation in lieu of reshaping or removing them. All of us, in some way, can attribute our investment in land at MARTIS CAMP to these features. Be a steward of this investment by maintaining these elements wherever possible.

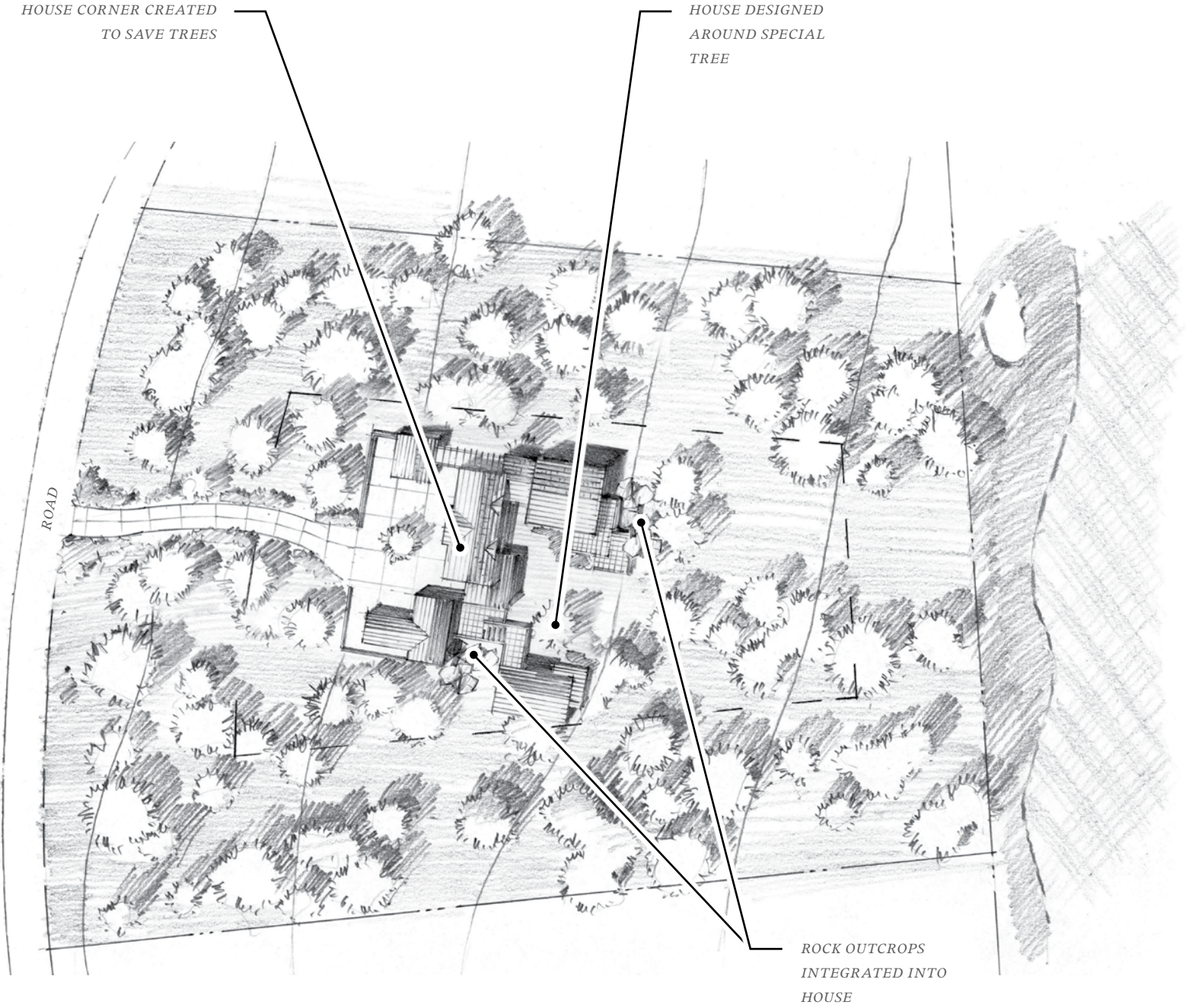
During the on-site Pre-Design Meeting, identification will be made of existing landforms and significant vegetation that will be required to be protected and saved during the construction process.

As a result of the Pre-Design Meeting, identify for recording on the Site Plan the limits of a Construction Zone. All activity, except for access and utility work must be contained within the fenced Construction Zone as well as outside of the tree protection fencing.

Construction Zone fencing and tree protection fencing must be installed prior to construction in accordance with BMPs and as shown on the approved plans.

HOUSE CORNER CREATED  
TO SAVE TREES

HOUSE DESIGNED  
AROUND SPECIAL  
TREE



ROCK OUTCROPS  
INTEGRATED INTO  
HOUSE

HOUSE PRESERVES NATURAL FEATURES OF THE PROPERTY BY ITS FORM

## 2.7 BUILDING ENVELOPES & EASEMENTS

*To protect everyone's privacy to the greatest extent possible and in the interest of limiting the impact of structures on viewsheds, MARTIS CAMP's properties contain generous building setbacks.*

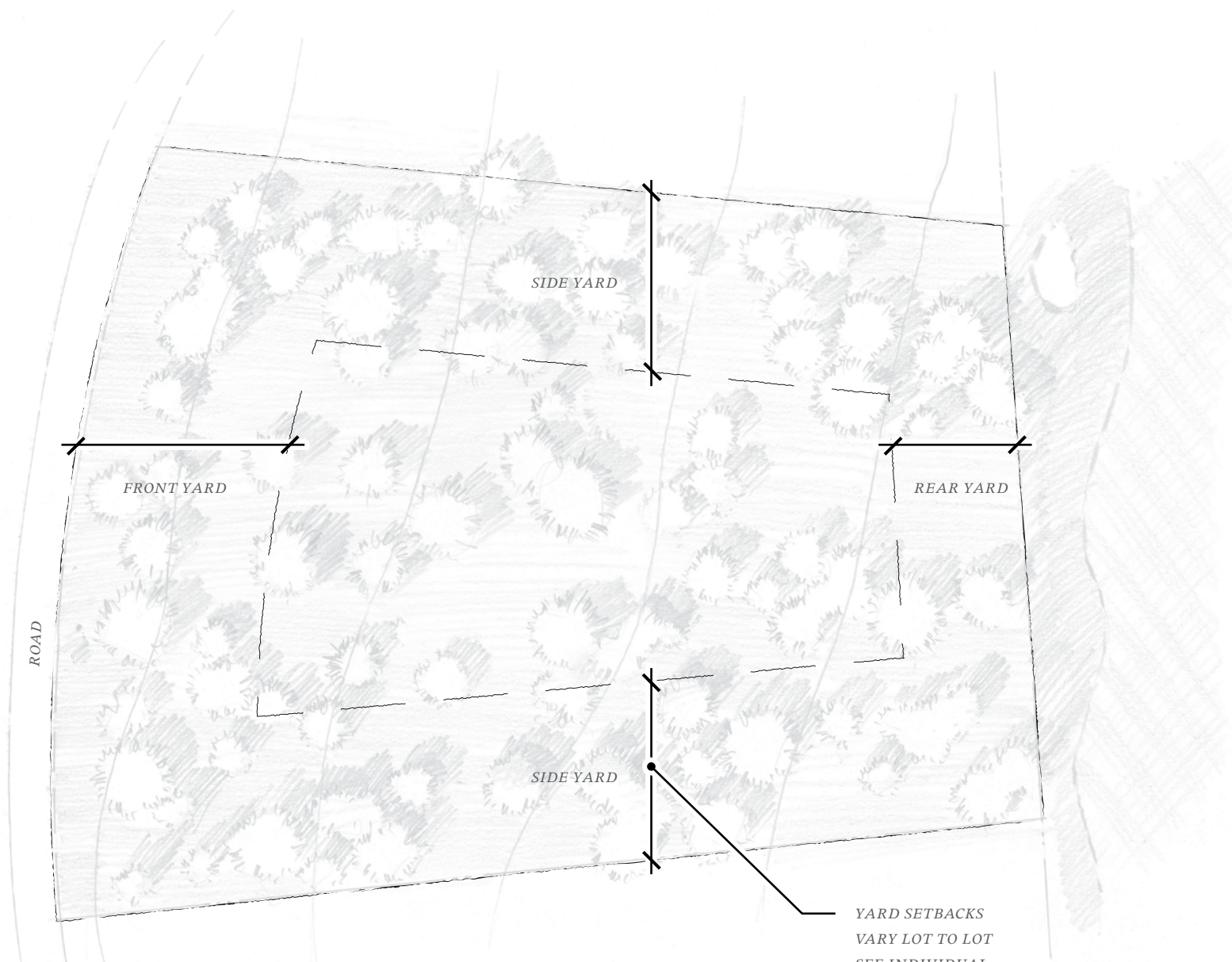
Building envelopes are defined primarily by the building setback lines. These limits and all easements across individual properties are specified in the Development Notebook Sheets. Other property specific constraints such as No Build Zones are identified on the Development Notebook Sheets to preclude construction in environmentally sensitive areas. Please refer to these documents for your property's specific Front, Side and Rear building setback limits as well as all easements and other design constraints.

Setback encroachments [building into the setback areas] are not allowed per Placer County's Conditions of Approval. However, some building activity may occur in easements. For example, paving for vehicular access may occur in Front Building Setbacks, Multi-Purpose and Snow Storage easements.

Structures are not allowed within easements or building setbacks. This includes not only building area but also roof overhangs, cantilevered floor areas, porches, balconies, terraces, site walls, etc. Additional restrictions may be in effect by nature of the Placer County Zoning Ordinances in effect at the time of your application. Please check not only with MARTIS CAMP Architecture Review but also with the Placer County Planning, Public Works and Building Departments prior to beginning the design process for your property.

If approved in advance by Architecture Review, unpaved walking paths may be allowed within Building Setbacks.





PROPERTY SETBACKS

## 2.8 DRIVEWAYS

*Imagery of the great camps rarely includes evidence of automobiles. When planning your project at MARTIS CAMP, endeavor to maintain that rural camp feeling by minimizing the visual impacts of vehicular access and parking.*

Where possible, wind the driveway onto the property with gentle turns that respect the existing landforms and vegetation. This will not only reduce necessary grading and save the larger trees, but will also add more visual interest to a project.

When two or more properties are combined, two driveway encroachments may be permitted. Additional driveways [to other parking areas if needed] are encouraged to be connected to one of the two allowed encroachments from the road. Where there is a clear demonstration that environmental benefit can be provided by additional access points from the road, they may be considered for approval by Architecture Review.

Driveway widths are limited to 14 feet for the entire length where they cross the front setback. A maximum ten-foot radius flair at each side of the driveway may occur at the roadway pavement. The flair at the road may not cross a line collinear with the neighbor's property line. Upon demonstration that it is the correct design response, driveways may encroach into the side setback. Usually this allowance will be made for reasons of steep grades, vegetation preservation, good engineering practice or where significant rock outcroppings or other natural features can be preserved as a result. Parking areas and driveway aprons must be located within the Building envelope, not inside the setback areas.

Limit slopes of driveways at the road and in the area for unloading and near the garage doors to the minimum required to promote sufficient drainage. If a driveway must be inclined, limit the slope to 12 percent in the area between the three low-slope areas noted above.



WINDING DRIVEWAY

STONE WALL AND TREES SCREEN CARS

SIDE ENTRY GARAGE SCREENS CARS AND GARAGE DOORS

DRIVEWAYS AND GUEST PARKING HIDDEN FROM THE STREET



## 2.9 BEST MANAGEMENT PRACTICES

*Ecologically sound practices in the design, construction and maintenance of our properties benefits all of us by way of keeping the watershed as healthy tomorrow as it is today.*

Provide temporary and permanent Best Management Practices [BMPs] in compliance with Placer County guidelines for those items required for the construction phase and upon completion of the project.

As a part of the site and building planning process for the Final Design submittal, provide engineering calculations for the site's drainage to accommodate the runoff from all impervious surfaces for a 20-year / one-hour storm event as defined by the Lahontan Region Water Quality Control Board.

Provide sumps or galleries for turf areas consistent with accepted engineering practice.

During construction and after the completion of the project, be certain that BMPs are maintained. Inadequate regular maintenance of such items by the Contractor and Property Owner can produce ineffective results.

## 2.10 GRADING

*Be conscious and considerate of the quantity of landform manipulation. With every cut and every fill there becomes a need for retaining devices or vegetated slopes. Use these judiciously where necessary for site access and to create usable areas.*

As the initial site planning is beginning, consider the visual and environmental challenges inherent in re-contouring a site's existing topography. Exercise restraint in grading plans which involve more than the minimum necessary grading for a project.

Additionally, be aware of Placer County's ordinances affecting the seasonal limitations of grading. Generally, excavation may begin no earlier than May 1 and must be substantially completed no later than October 15. These dates are subject to change depending on weather conditions at the time. Check with Architecture Review to confirm these dates every spring and fall.

Regardless of any date extension, keep in mind that all graded slopes and trenches allowing runoff shall be revegetated or appropriately stabilized no later than October 15 to prevent soil erosion during the winter.

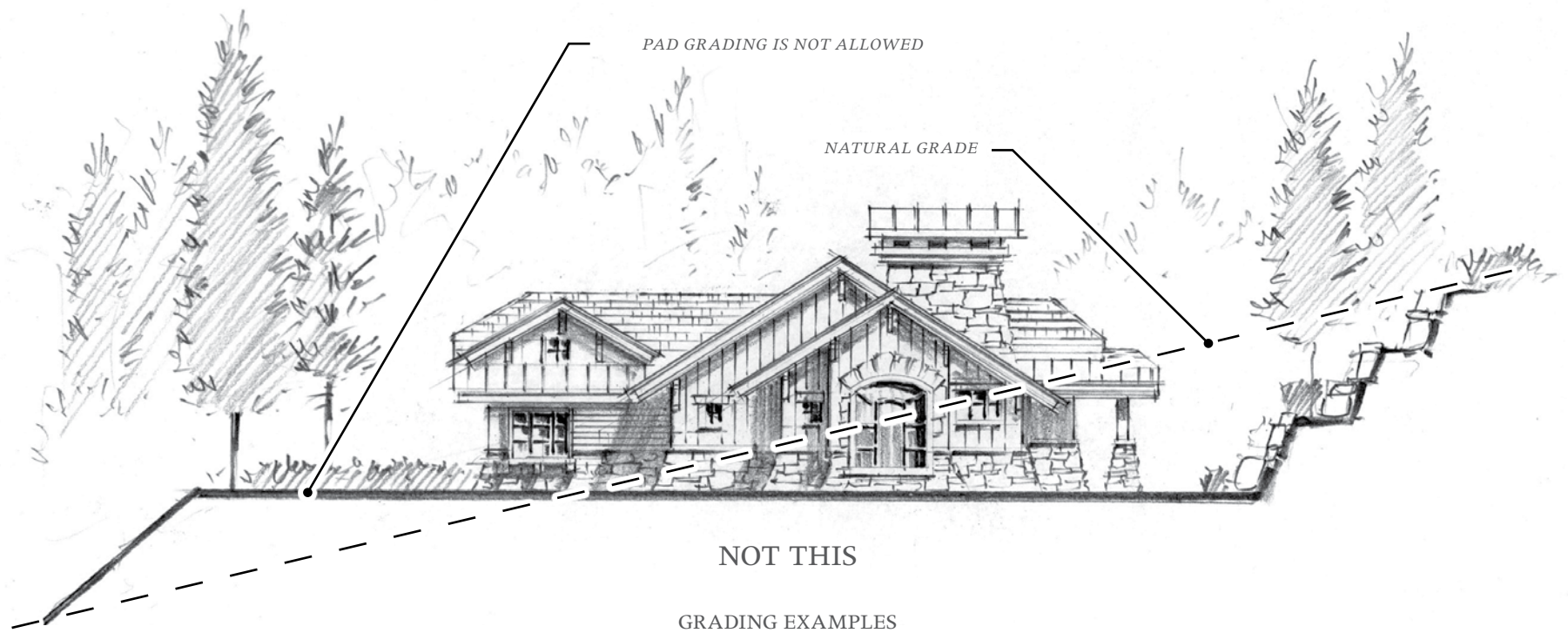
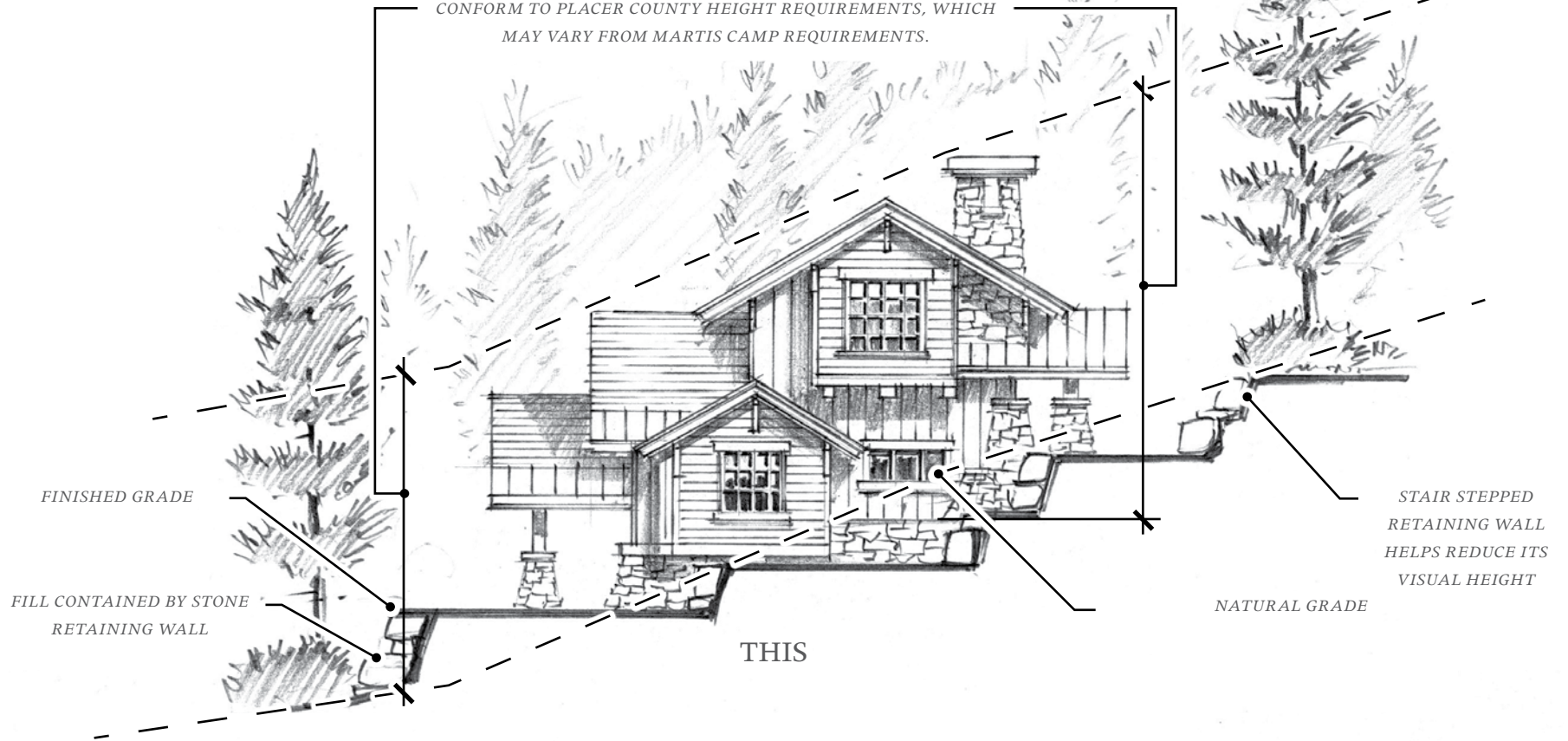
It is the Contractor's responsibility to know of and comply with all grading limitations.



HOUSE MASSING STAIR STEPS WITH TOPOGRAPHY



MARTIS CAMP MAXIMUM BUILDING HEIGHT ABOVE NATURAL OR FINISHED GRADE, WHICHEVER IS LOWER MUST ALSO CONFORM TO PLACER COUNTY HEIGHT REQUIREMENTS, WHICH MAY VARY FROM MARTIS CAMP REQUIREMENTS.



## 2.11 COVERAGE

*Concentrated surface water flows, as a result of impervious coverage, lead to erosion and sedimentation of water courses. Coverage limits are one way to maintain the flow of surface water in minimally disturbed patterns.*

Impervious coverage is limited to 30% of the property's gross area. If certain findings of need and merit are made, then additional impervious coverage may be allowed up to 50% of the property's gross area.

Prior to requesting approval of additional coverage, attempt to limit coverage by maintaining pervious surfaces. Second, mitigate the negative effects of the additional coverage to the greatest practical extent.

Allowable building coverage for each property is identified on the Development Notebook Sheet. Please reference these sheets for individual limitations by particular property.

Site coverage is defined as the percentage of the total property area occupied by structures and other built portions of a project. Examples include, but are not limited to: all buildings, garages, carports, covered outdoor spaces and other enclosed or covered areas, but does not include eaves, uncovered decks, paved areas such as walkways, driveways, terraces and other uncovered parking areas. All areas of coverage are computed at ground level.

## 2.12 TOPOGRAPHY

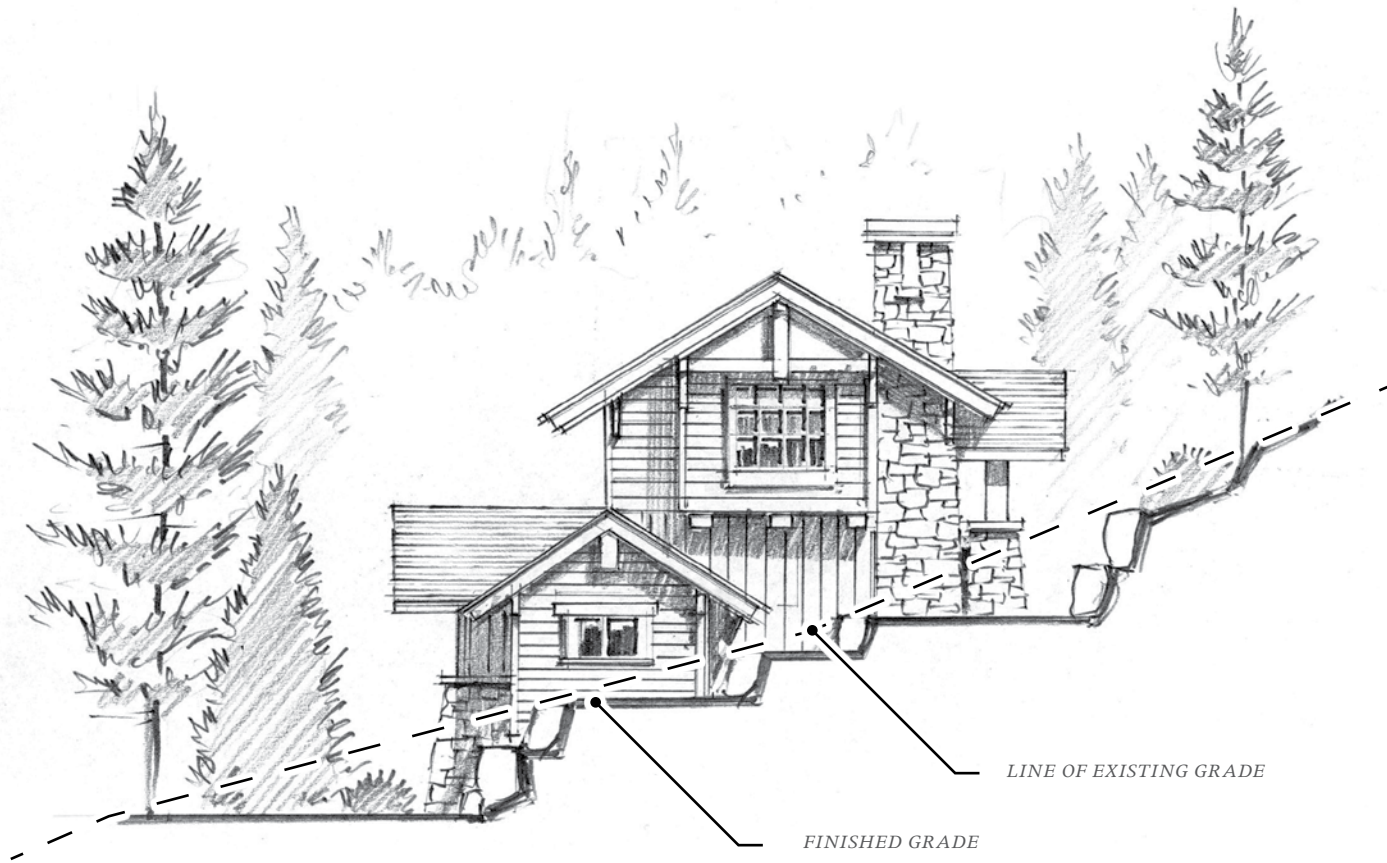
*To minimize environmental impact, grading and construction activity is limited to those portions of a property with less than a 30% slope.*

Grading or building on slopes or over slopes that exceed a 30% gradient are not permitted by Placer County. Areas of the site exceeding a 30% slope have been preliminarily identified on the Development Notebook Sheets. Check the Development Notebook Sheets for the areas identified as No Build Zones and then confirm the exact location on the topographic survey required prior to beginning design on a project.

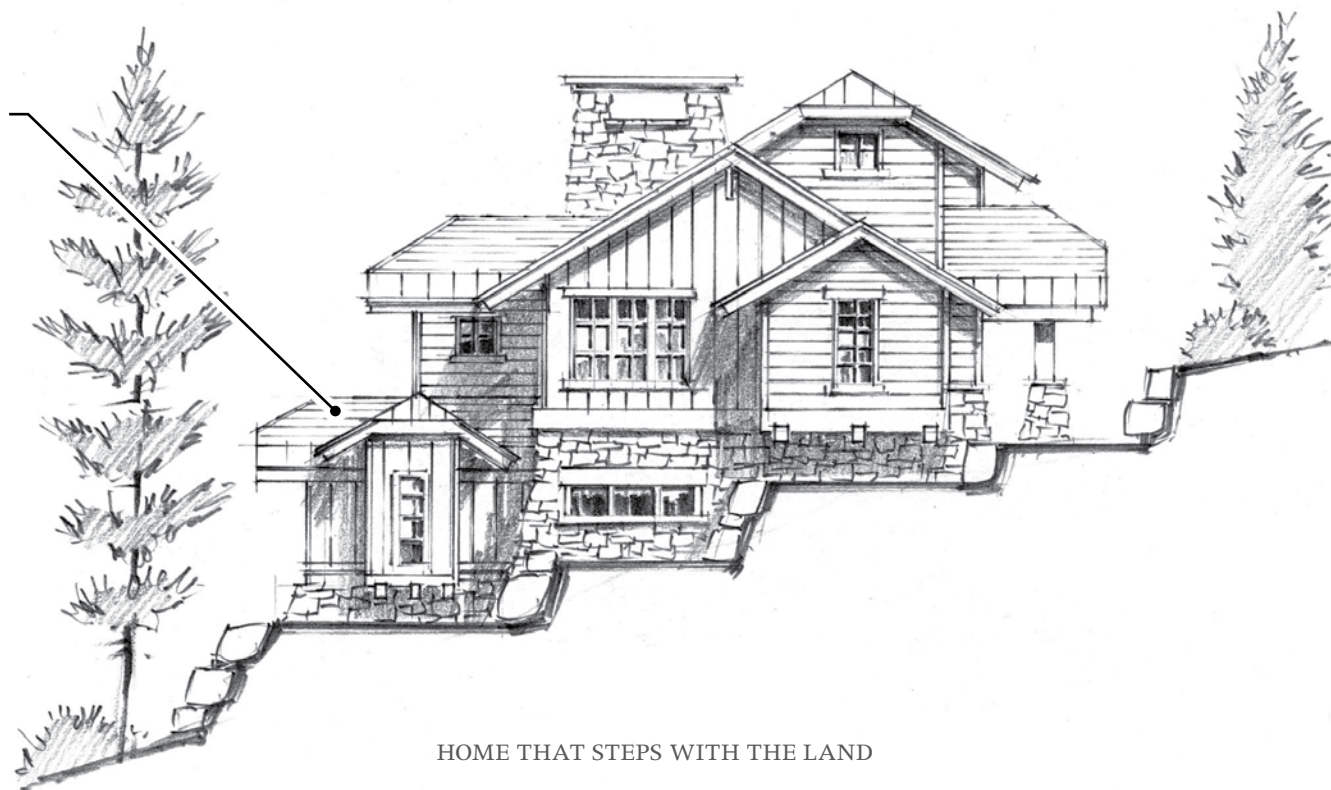
Exceptions can be made for small, isolated steep areas of the site and where required for driveway access, grading or paving or for isolated or incidental areas within flatter, conforming areas of the property.

Temporary and permanent Best Management Practices are essential on all sites, but even more important on steep sites.





LOWER MASSING ON  
DOWNHILL FACADES  
ENCOURAGED



HOME THAT STEPS WITH THE LAND



SITE STONE USED AS SMALL RETAINING WALLS



RETAINING WALLS THAT ARE WELL INTEGRATED INTO THE LAND





## 3 - STRUCTURE

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- STYLE, ORDER & PROPORTION
- BUILDING AREA
- BUILDING HEIGHT
- MATERIALS & COLORS
- ACCESSORY STRUCTURES
- GARAGES
- ROOFS
- DECKS



## 3 - STRUCTURE

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### OVERVIEW

*The Sierra Nevada mountain range possesses abundant natural attributes which should influence all design responses for projects within MARTIS CAMP.*

Design professionals unaccustomed to working within the limitations imposed by cold weather and snow must become aware of the needs associated with living year-round in an area once only inhabited by those seeking summer recreation.

Historically, mountain architecture in this country has ranged from the very simple small cabin to large, complex chateaus found in the great camps of the east and west. Draw not only from these domestic examples of great mountain architecture, but also from those found in mountain climates around the world.

The backdrop of our topography makes for a compelling argument to be complementary in form. Take clues from these mountainous forms. Attempt to neither replicate, nor stand in stark contrast . . . rather play with and enhance the environment found at MARTIS CAMP whether with timbers and slate or sinuous shapes of weathering steel and concrete.

The following images demonstrate various forms that are appropriate for MARTIS CAMP.





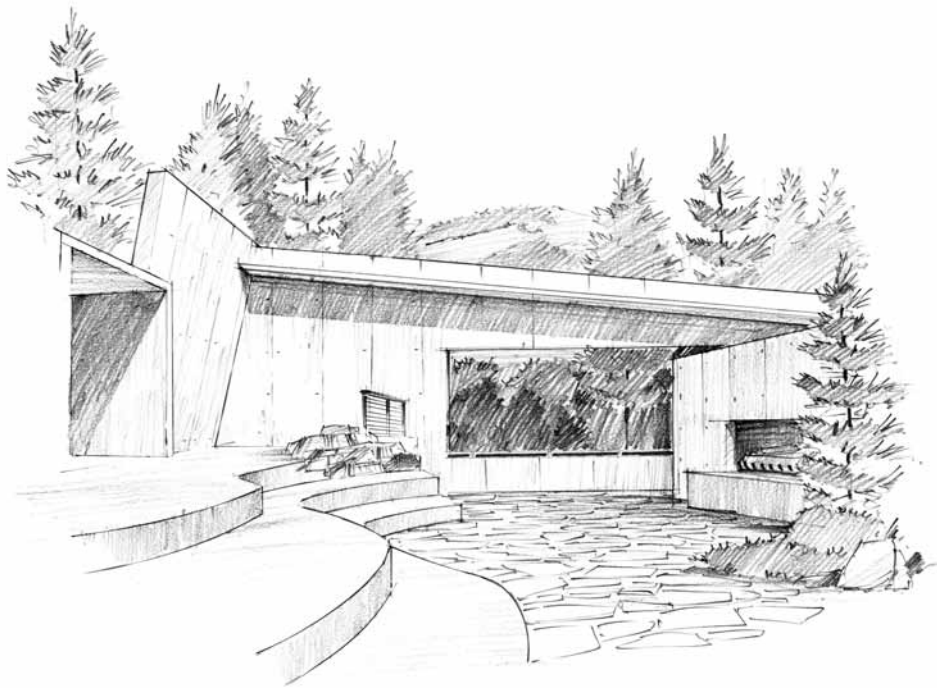
STRONG FORMS AND SIMPLE COMPOSITION





ARTICULATED SHINGLE STYLE





MOUNTAIN COMPOSITIONS WITH A VARIATION OF FORM





ALL STONE COMPOSITION CREATES TIMELESS QUALITY





LOW SLOPE ROOFS HELP HOLD SNOW AND MINIMIZE VISUAL IMPACT

### 3.1 STYLE, ORDER & PROPORTION

*There are differing views of the definition of an inviting lodge in the country, but we all sense the presence of a pleasing cadence in a well designed home. Work on perfecting the rhythm of the project as it is viewed from offsite.*

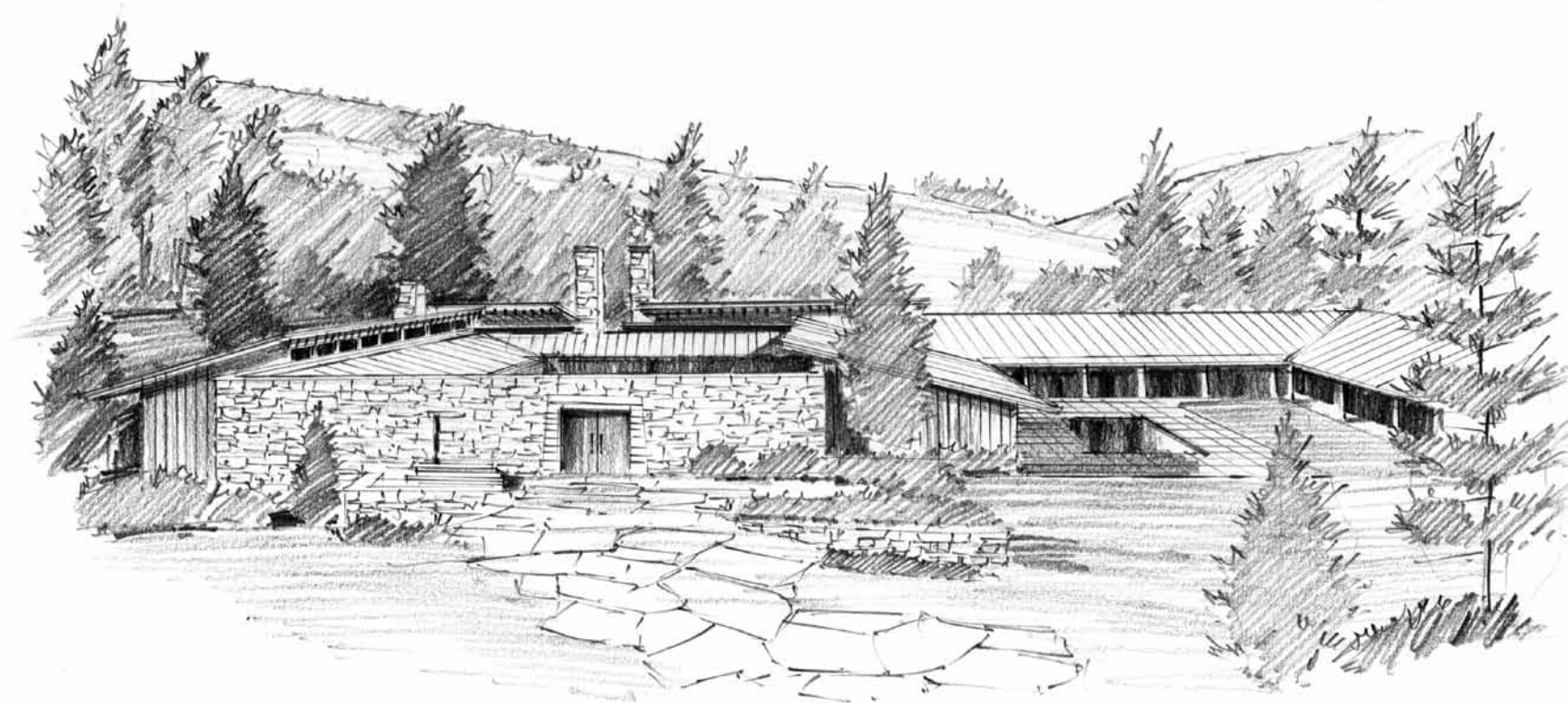
You will notice a deliberate abridgement of prescriptive limitations contained in this Handbook. There are no numeric requirements for planar offsets and no requirements for roof slopes. There are few requirements that would lead to locking MARTIS CAMP projects into a specific time or artistic style. There is however, a subjectivity that will be present in the review process. The subjectivity of approvals will be in place not only to provide a minimum level of architectural quality, but also to allow the best designs to be accommodated.

While no predetermined list of mandated architectural styles will be used to judge the appropriateness of designs submitted, there will be some expressions of architecture that will very likely not be allowed—namely Italianate, Egyptian, Regency, Pueblo, Inflatable, etc.



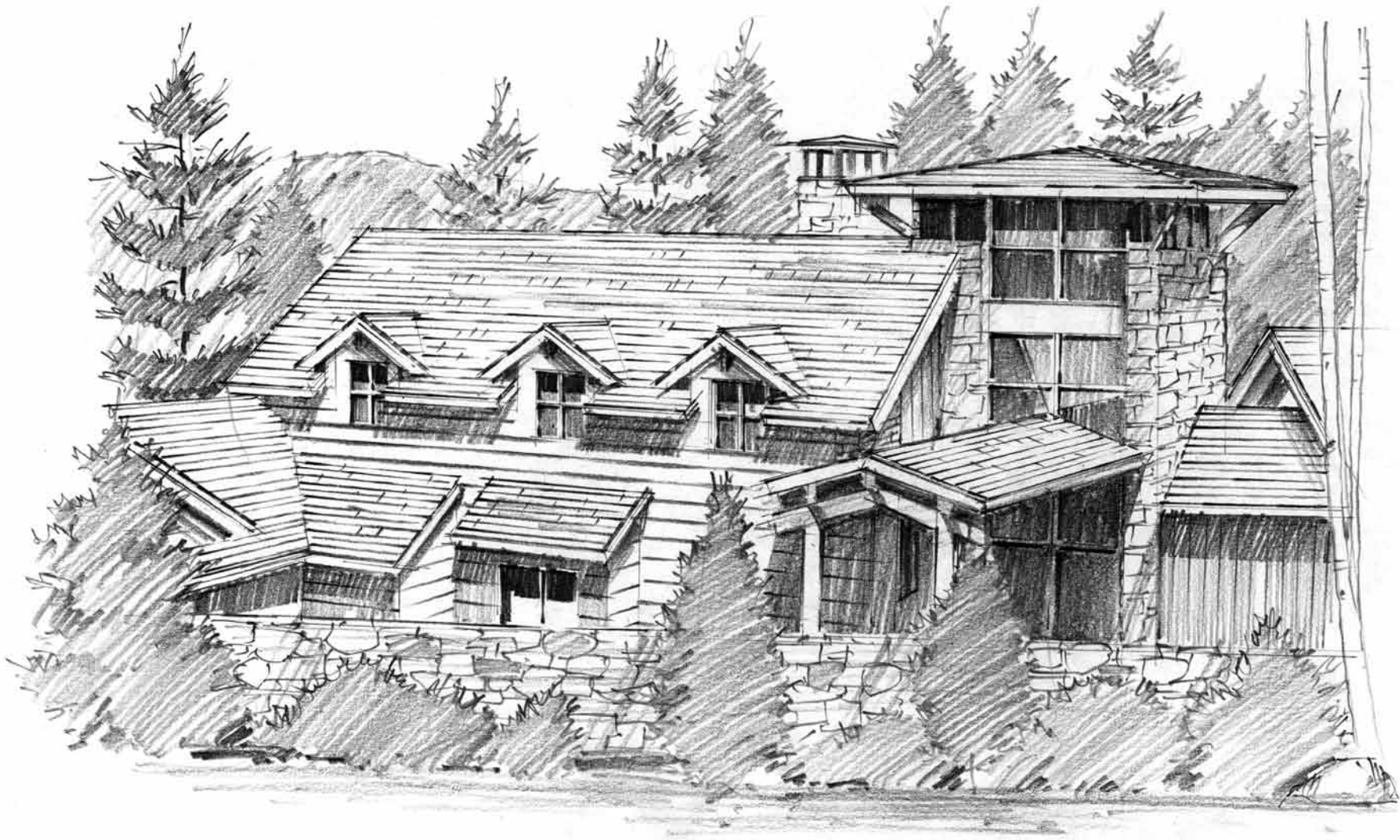


STYLE EVOKES A MOUNTAIN LODGE



STRONG CONTEMPORARY ELEMENTS MASSED TO ALLOW DAY LIGHTING





TOWER FORM JUXTAPOSES TRADITIONAL ROOF FORMS



VERTICAL ELEMENTS CELEBRATE THE MAJESTY OF THE FOREST

### 3.2 BUILDING AREA

*Structures should not dominate their sites; rather they should sit gracefully into their surroundings. Maximum building sizes are based on the character of the property including determinants such as size, visibility from common areas and the golf course and the extent of screening vegetation.*

Refer to the Development Notebook Sheets for the allowable enclosed building area for an individual property.

The enclosed area is defined as the square footage of heated floor area measured from outside of exterior wall to outside of exterior wall. This does not include porches, terraces or decks that are not fully enclosed, nor unfinished attics, basements or garages. There is no reduction allowed for walls with low plate heights.

There is no minimum building size. Smaller homes exhibiting exemplary design and detail are preferred over larger homes which lack thoughtful massing and articulate detailing. Regardless of a home's size, it must contain a minimum of two covered parking spaces in order to comply with Martis Camp's Covenants, Conditions and Restrictions (CC&Rs).

The Development Notebook Sheets define sizes and limitations inherent to individual properties; however there is no assurance that the maximum building areas noted will be approved on all properties.





QUALITIES EVOKE INTEGRATION WITH NATURE

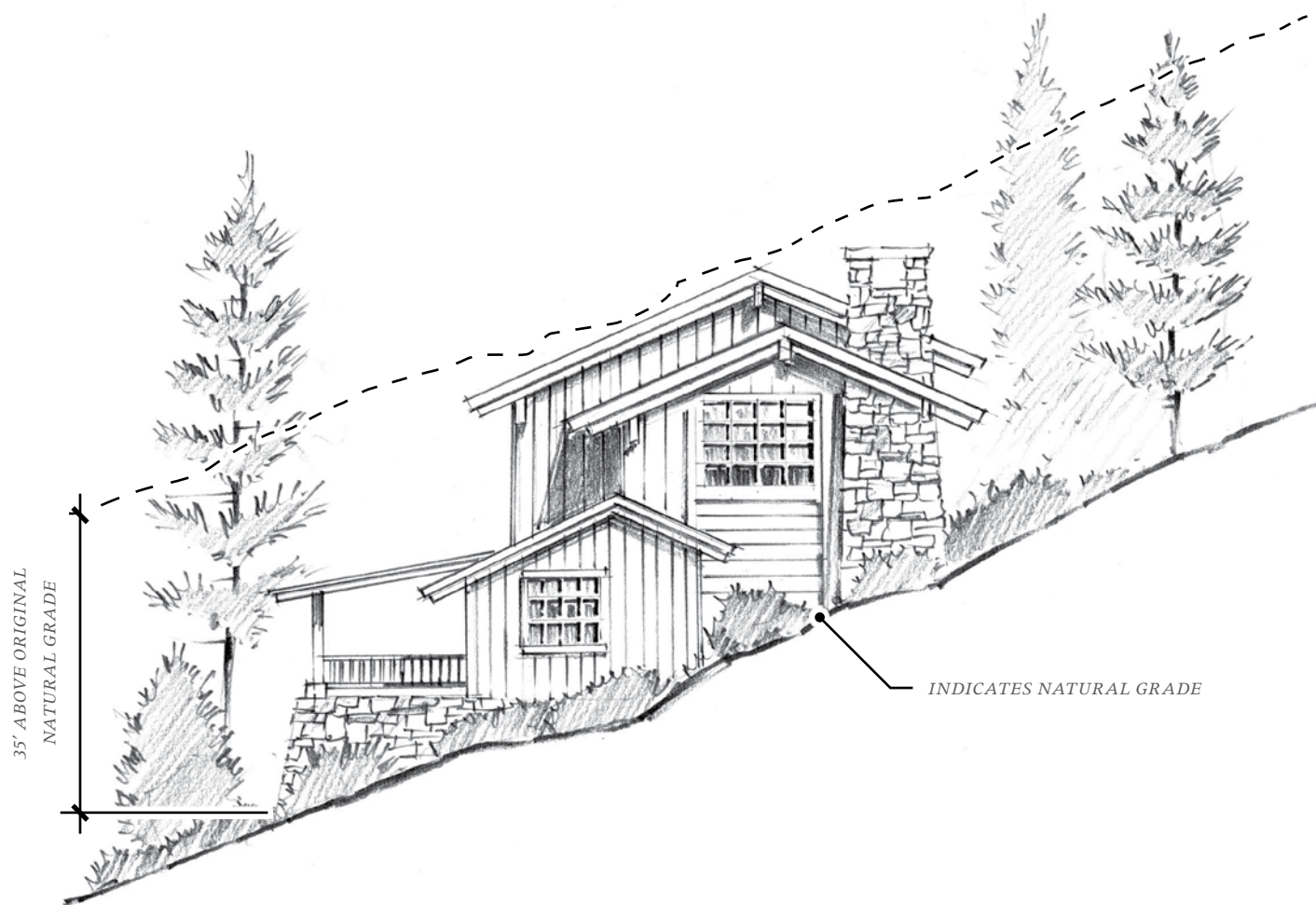
### 3.3 BUILDING HEIGHT

*Structures should not dominate their site. They should be configured so as to respond to the site's features —usually working with, rather than against, the topography.*

Building heights for Estate parcels will generally be limited to a maximum of 35 feet above original / natural grade. At the discretion of Architecture Review, some taller elements of the home may extend up to 42 feet. Building height for Cabins sites is limited to 28 feet above original / natural grade. At the discretion of Architecture Review, an element of the structure (such as a tower element or a vista loft) may extend to a height of 32 feet when tastefully incorporated as a feature element of an exemplary design. The planar area of such an element will generally be limited to ten percent of the home's floor area.

In addition to the requirement to complement the site's existing features, keep in mind the need for homes to be scaled to relate well to their occupants.

Building heights will also need to be designed to comply with Placer County Zoning Ordinances. These calculations currently reference measurements from average grade and do not include chimneys and other minor appurtenances.



EXAMPLE OF HEIGHT MEASUREMENT



### 3.4 MATERIALS & COLORS

*Architects are required to present exterior materials and colors in a palette designed to complement the existing landscape found on each property prior to any construction.*

The Western Martis Valley Community Plan Design Guidelines require that exterior materials should generally be natural materials that blend and are compatible with the native landscape of the specific parcel.

With this in mind, materials should also be chosen for their ability to age gracefully and require the least amount of ongoing maintenance possible.

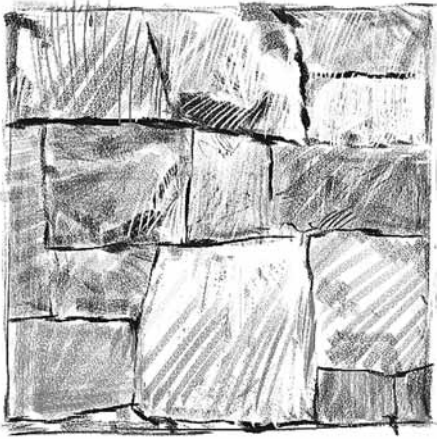
Materials imitating another product will generally not be approved. Examples are non-wood products embossed to imitate wood such as wood-grained cement fiber board siding or concrete stamped to imitate stones. Only high quality materials, complementary to the mountain setting will be approved – plywood or cement board will generally not be approved as primary siding materials. Stucco may be approved on a case-by-case basis, primarily as an accent material where it is demonstrated that the application and color are appropriate.

While there are no specific measurable limitations for most properties, for compatibility with the surroundings, Architects are encouraged to provide a palette of exterior finishes on the darker side of the spectrum of available choices. White, shiny or extremely contrasting materials and colors will not be approved. Prior to installation, the approval of all exterior materials applied to the home, is subject to an onsite review and approval by Architecture Review per Section 6.14.

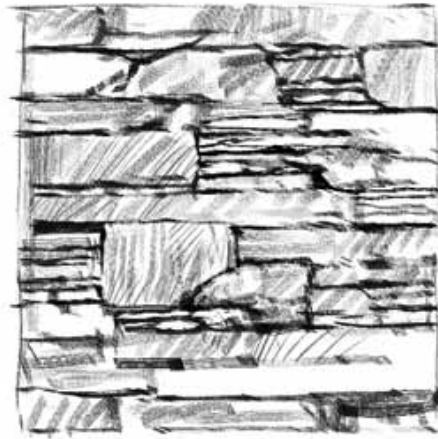
Interior window coverings facing the outside of the residence shall be of a color that is harmonious with the finishes used on the exterior of the home and are not permitted to be white or off-white.

Ultimately it is imperative that projects be consistent with the applicable approvals for MARTIS CAMP, thus homes should complement and blend with the palette of hues and saturation existing on the property prior to construction.

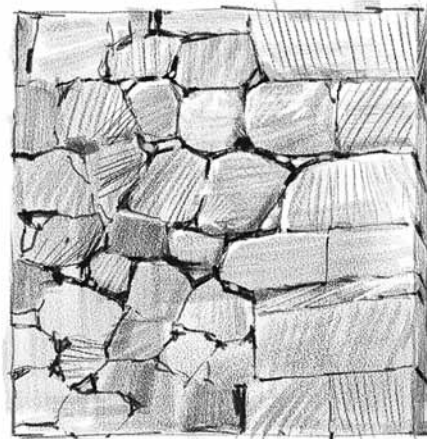
The following illustrations represent a variety of acceptable materials for MARTIS CAMP.



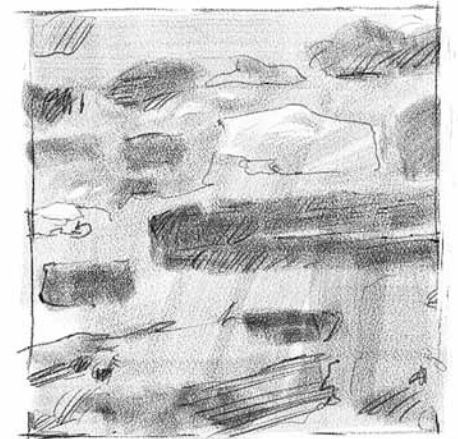
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B



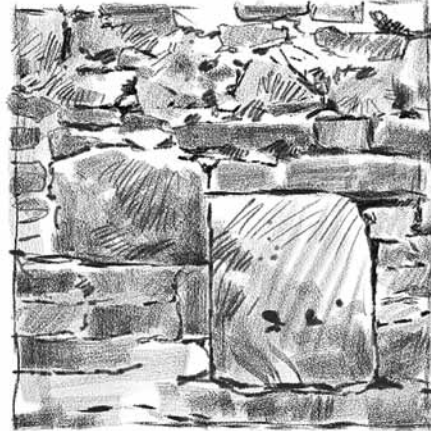
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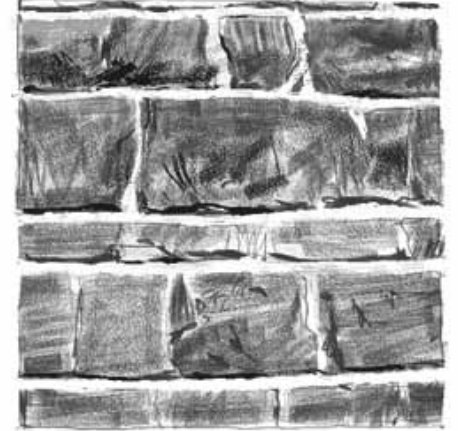
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VARIOUS STONE CONCEPTS

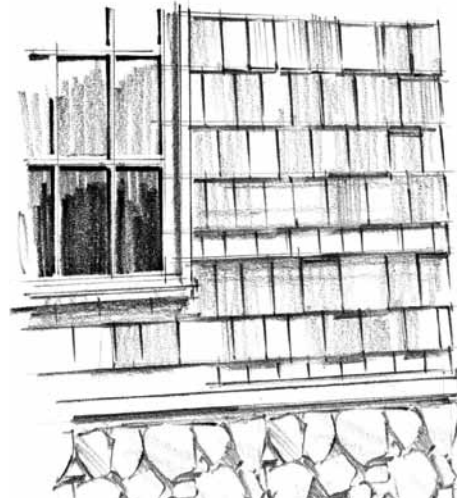




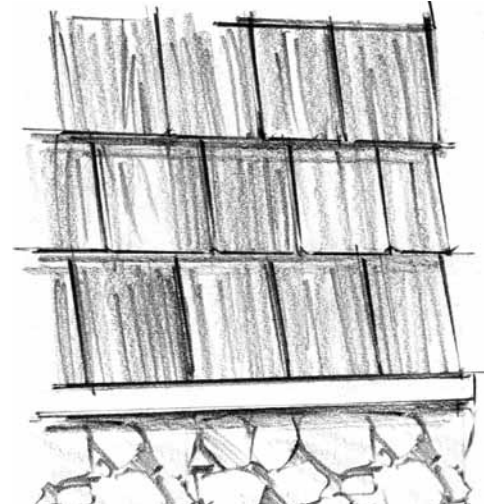
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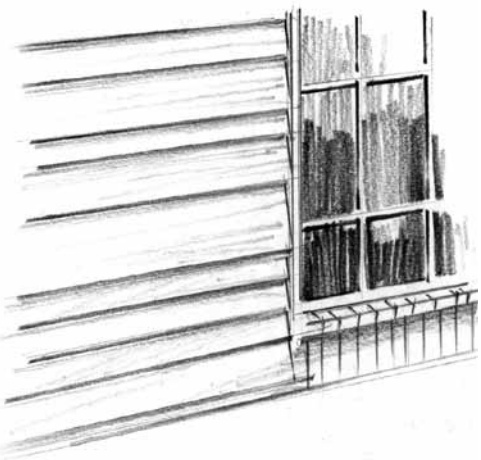
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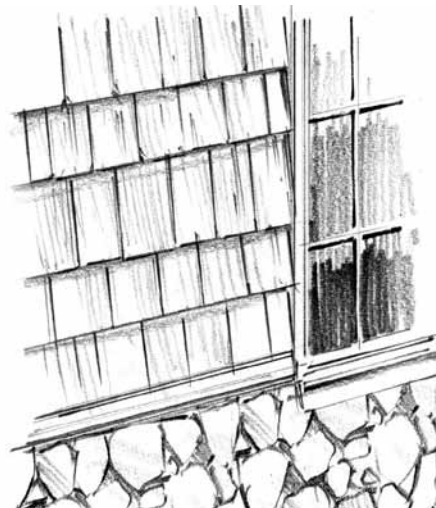
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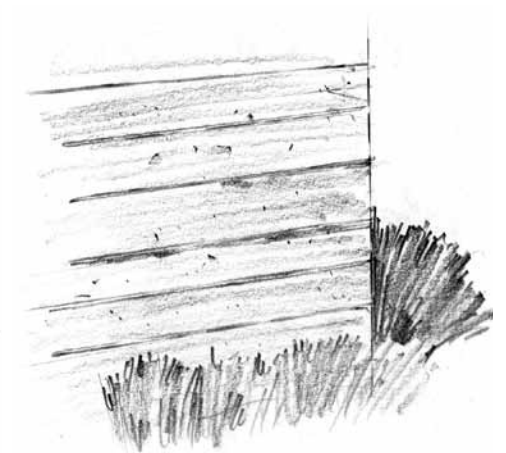
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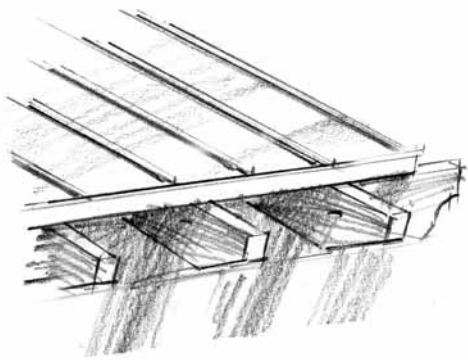
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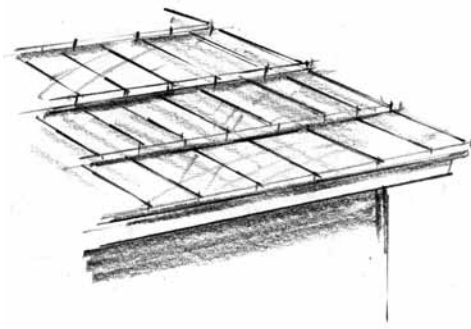
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VARIOUS SIDING CONCEPTS

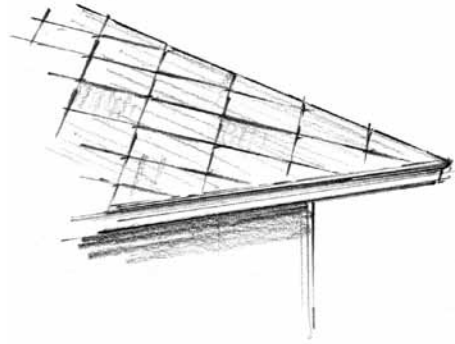




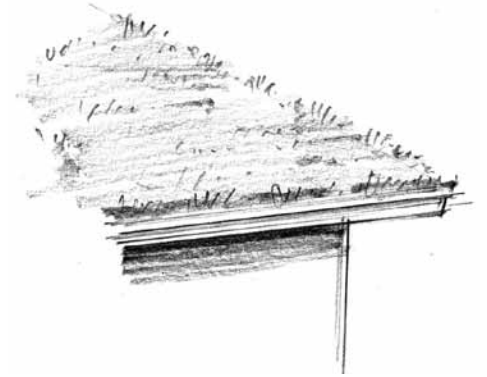
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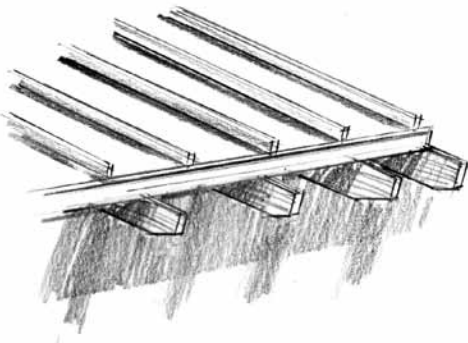
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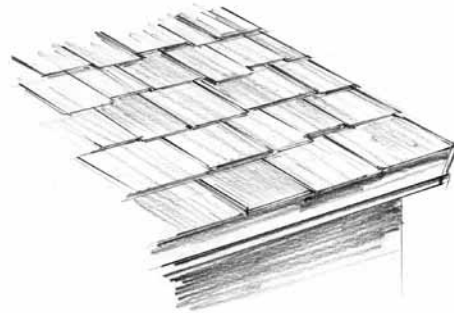
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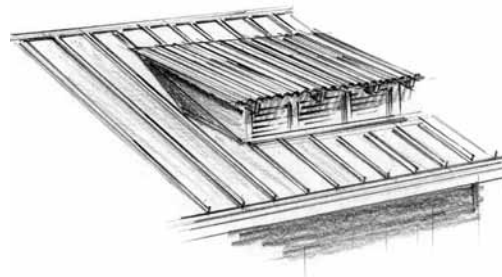
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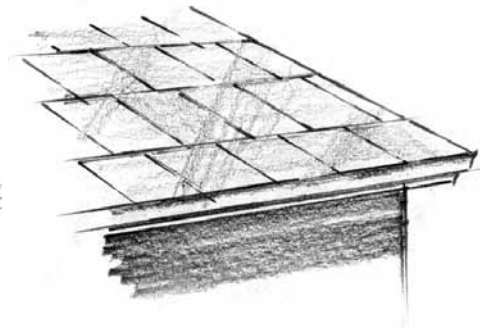
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VARIOUS ROOFING MATERIAL CONCEPTS

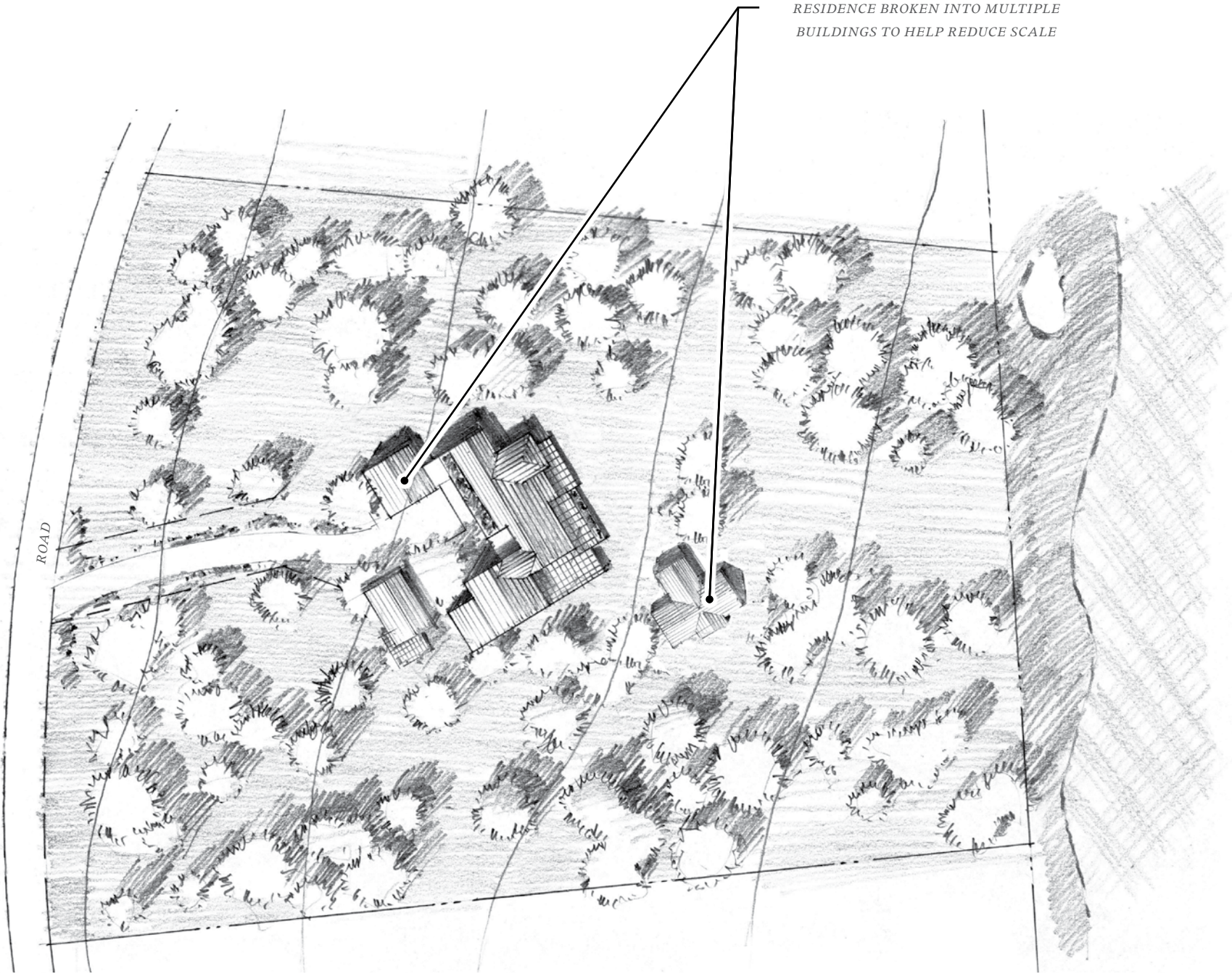
### 3.5 ACCESSORY STRUCTURES

*Where possible, split the total square footage into multiple structures. The “family compound” is an image that is welcomed at MARTIS CAMP.*

Within Placer County’s limits, create projects which spread the total volume of structures among more than one building. Separate outbuildings such as free-standing garages, guest quarters, in-law units, pavilions, etc are desired to encourage camp-based compound imagery and to minimize the impact of singularly-large buildings within MARTIS CAMP.

Small, stand-alone structures are a welcome component in helping to create the family compound.

RESIDENCE BROKEN INTO MULTIPLE  
BUILDINGS TO HELP REDUCE SCALE



MULTIPLE BUILDINGS ON SITE



### 3.6 GARAGES

*In planning your project, diminish the visual impact of cars at MARTIS CAMP. To encourage the indoor storage of all vehicles, no limit is placed on vehicle storage space beyond the limits found on accessory square footage.*

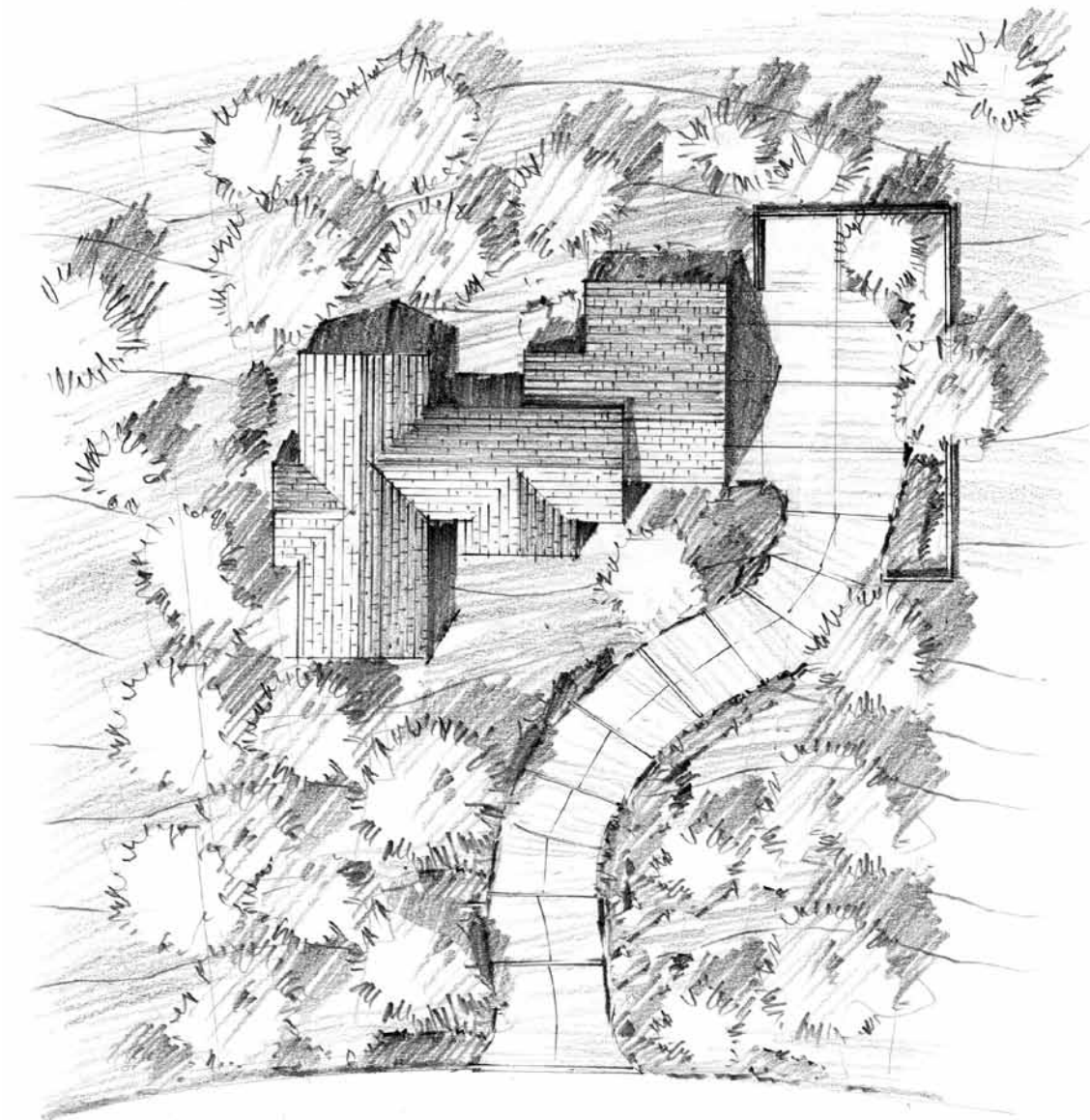
Design adequate parking areas—enough to accommodate a minimum of four vehicles off the roadway, a minimum of two covered spaces.

Unless substantially screened from view by structures, site walls or thick tree cover or for some compelling other reason, garage doors primarily facing the roadways will not be approved. Whenever possible, turn the doors away from the street, preferably into an auto court or design the entrance to the garage cleverly so as not to have a negative impact on the street.

Consider modestly scaled portals into automobile courts such that the garage doors are only apparent from within. Break rows of numerous garage doors into groupings or separate them so as not to provide a too-repetitive façade.

When thoughtfully integrated into the remainder of the project's architecture, covered, but not enclosed, vehicle storage is preferred over parking vehicles in the open.

Keep in mind that under Placer County's regulations, free-standing garage buildings must be counted in the area allowed for accessory structures.



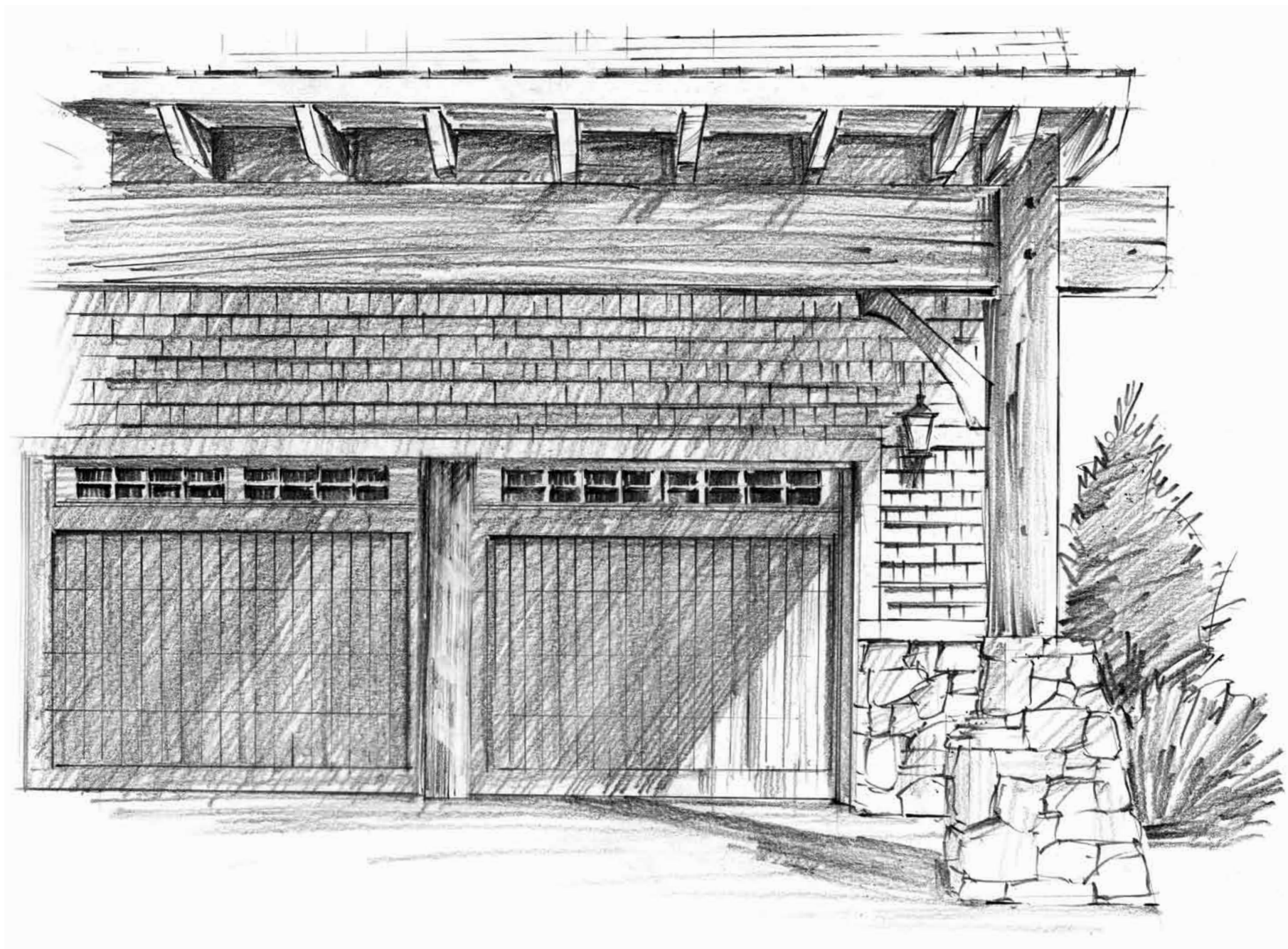
ROAD

SIDE ENTRY GARAGE



GARAGE DOOR MINIMIZED BY MASSING





GARAGE DOOR DEEPLY RECESSED TO MINIMIZE IMPACT

### 3.7 ROOFS

*Large volumes contained within steep roofs can create overly-heavy massing of homes. Consider the use of low-pitched slopes to minimize the visual impact of the roof structure.*

Steeply-pitched roofs can not only create overly-heavy visual impact, they also add to construction costs, maintenance costs and can create damage to themselves [in their valleys] and damage to areas below eaves from the force of shedding snow and ice.

Roofing in a mountain climate is an important consideration for not only its appearance, but also for the pragmatic issues of resistance to fire, wind, sun, rain, snow and ice. Consider deep overhangs to divert snow and water away from the building and to reduce the impacts of intense solar exposure. Design roofing systems with resistance to these elements in mind.

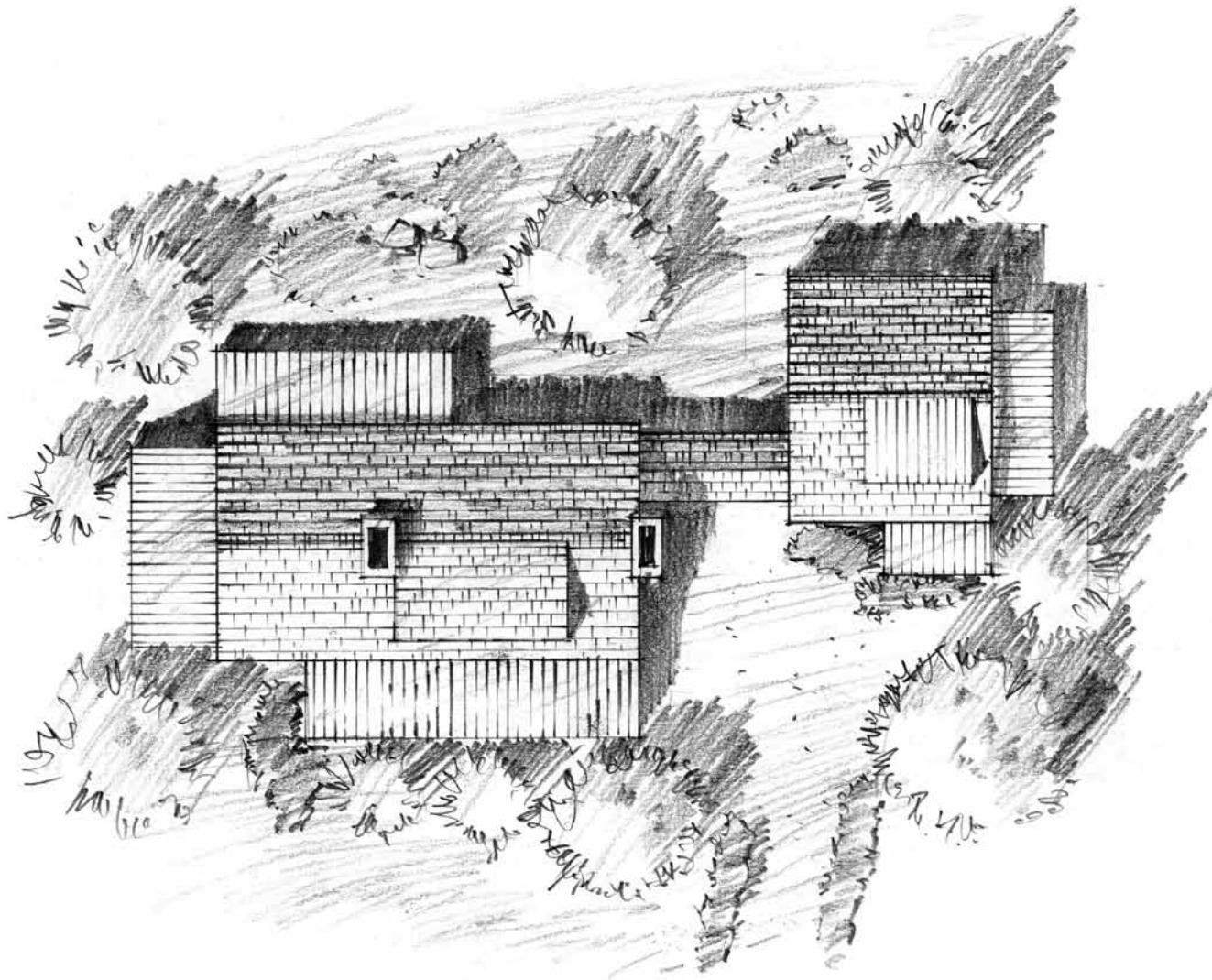
Whether employing steeply-pitched roof structures or something nearly flat, Class A roofing materials are required to minimize the threat of fire. If using a painted metal roof, it must be a finish specified as low- or ultra-low gloss [less than 20 units of gloss reflection at an 85° slope] to reduce its reflectance and a color that complements not only the rest of the home's materials but also the native landscape of the specific property on which it is located.

The Architect should, whenever possible, attempt to locate vents on the Roof Plan and design screening elements (e.g. chase), to disguise large, unsightly mechanical appurtenances. When vents and flues are required during the course of construction, but not shown on the approved plans, it is important to ensure that these exposed mechanical and plumbing vents are approved by Architecture Review prior to their installation.

### 3.8 DECKS

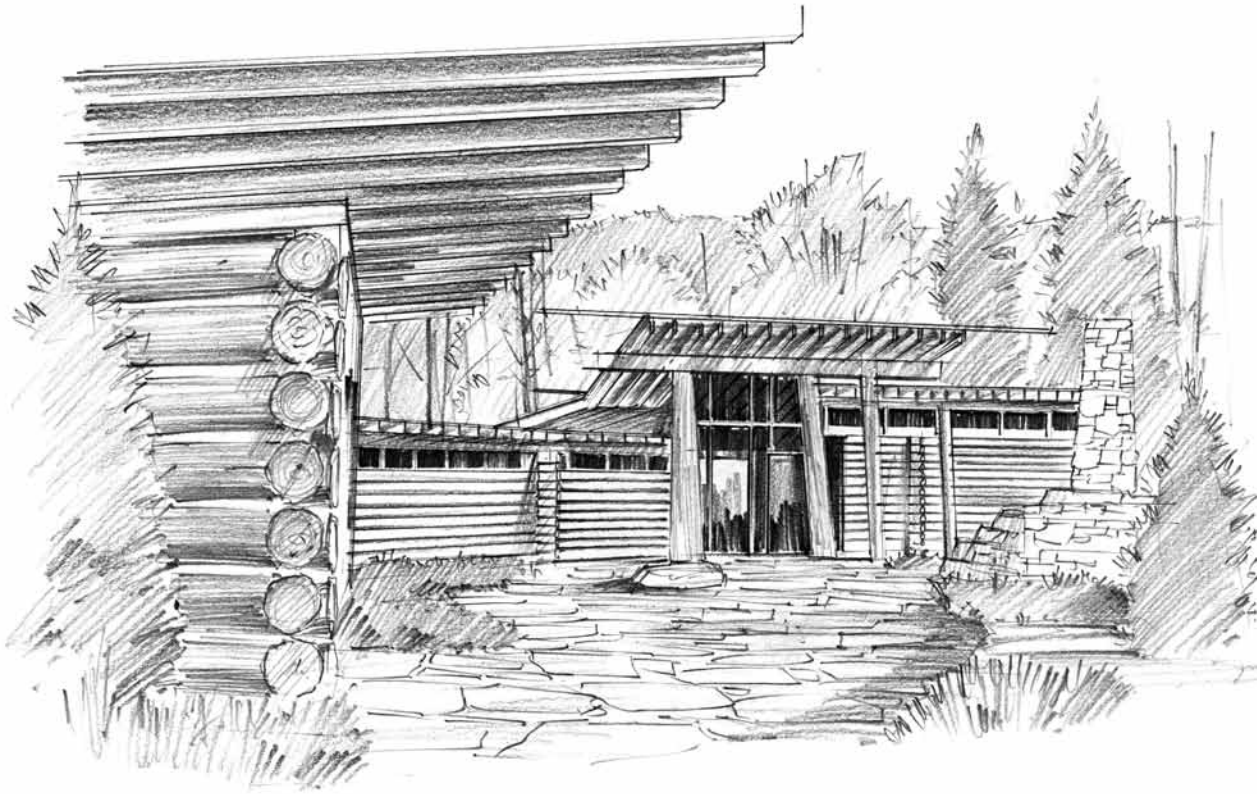
The inclusion of elevated living spaces for outdoor enjoyment is often a programmatic requirement for Martis Camp homes. Integration into the architecture and/or site is an important consideration. This can be achieved by including structural elements that visually ground the deck to the home or to grade. Spindly or insignificant deck supports will not be approved.





ROOF DESIGN BROKEN UP TO MINIMIZE IMPACT

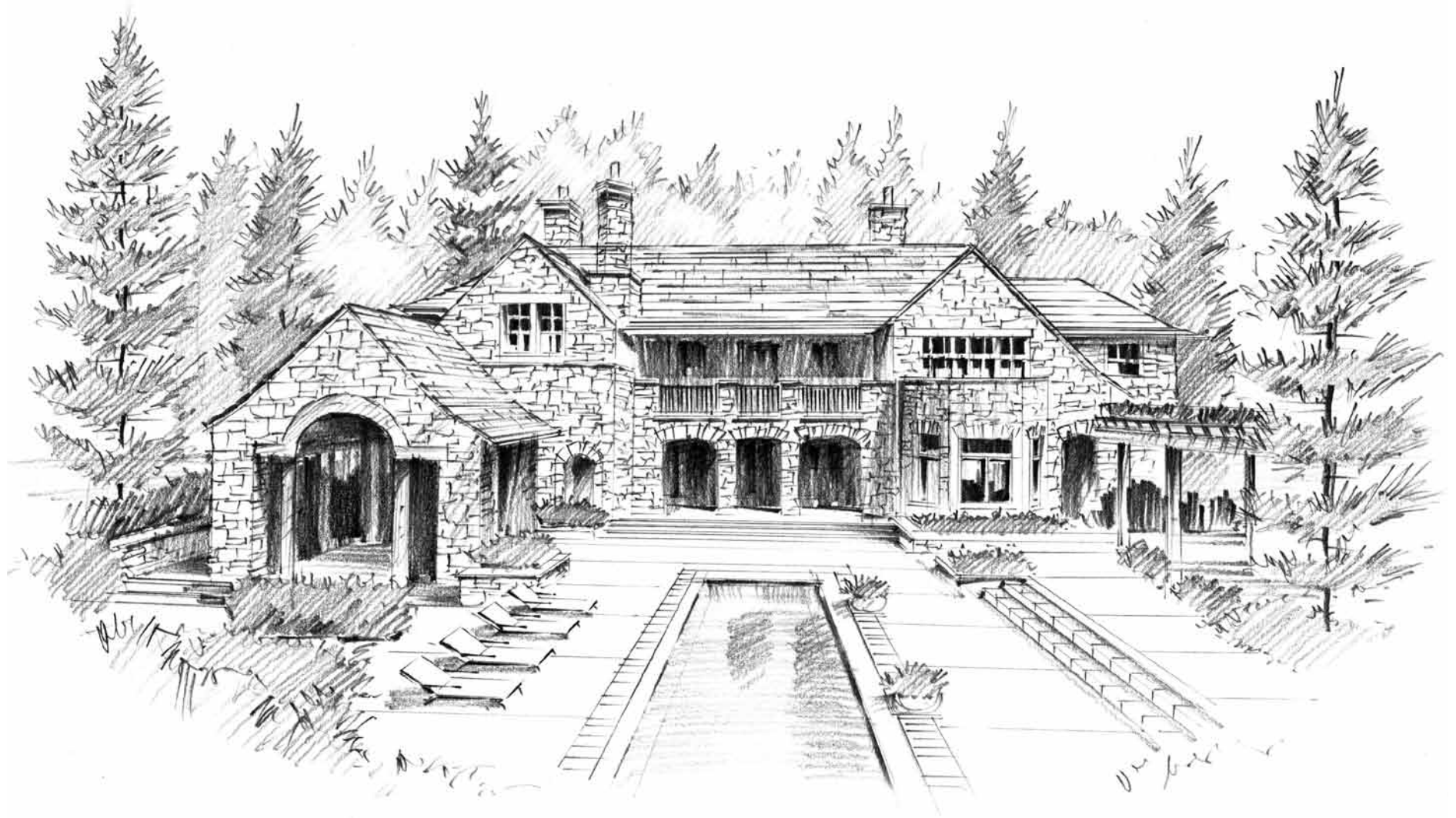




SIMPLE LOW SLOPE ROOF FORMS



CREATIVE ROOF FORMS



SYMMETRY IN ROOF DESIGN CREATES FORMALITY WITH STRONG MOUNTAIN FORM





SIMPLE ROOF FORMS SHELTERING FULL BUILDING





A STATELY FORMAL ROOF COMPOSITION



ROOF FORMS THAT ARE SHAPED WITH THE TREES







## 4 | DETAIL

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- WINDOWS & SKYLIGHTS
- FIRE-RESISTIVE CONSTRUCTION
- REFUSE
- SPORTS COURTS, POOLS & SPAS
- LIGHTING
- FENCES & SITE WALLS
- FIREPLACES & FIRE PITS
- MECHANICAL EQUIPMENT
- ENTRY GATES & ADDRESS MARKERS

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# 4 - DETAIL

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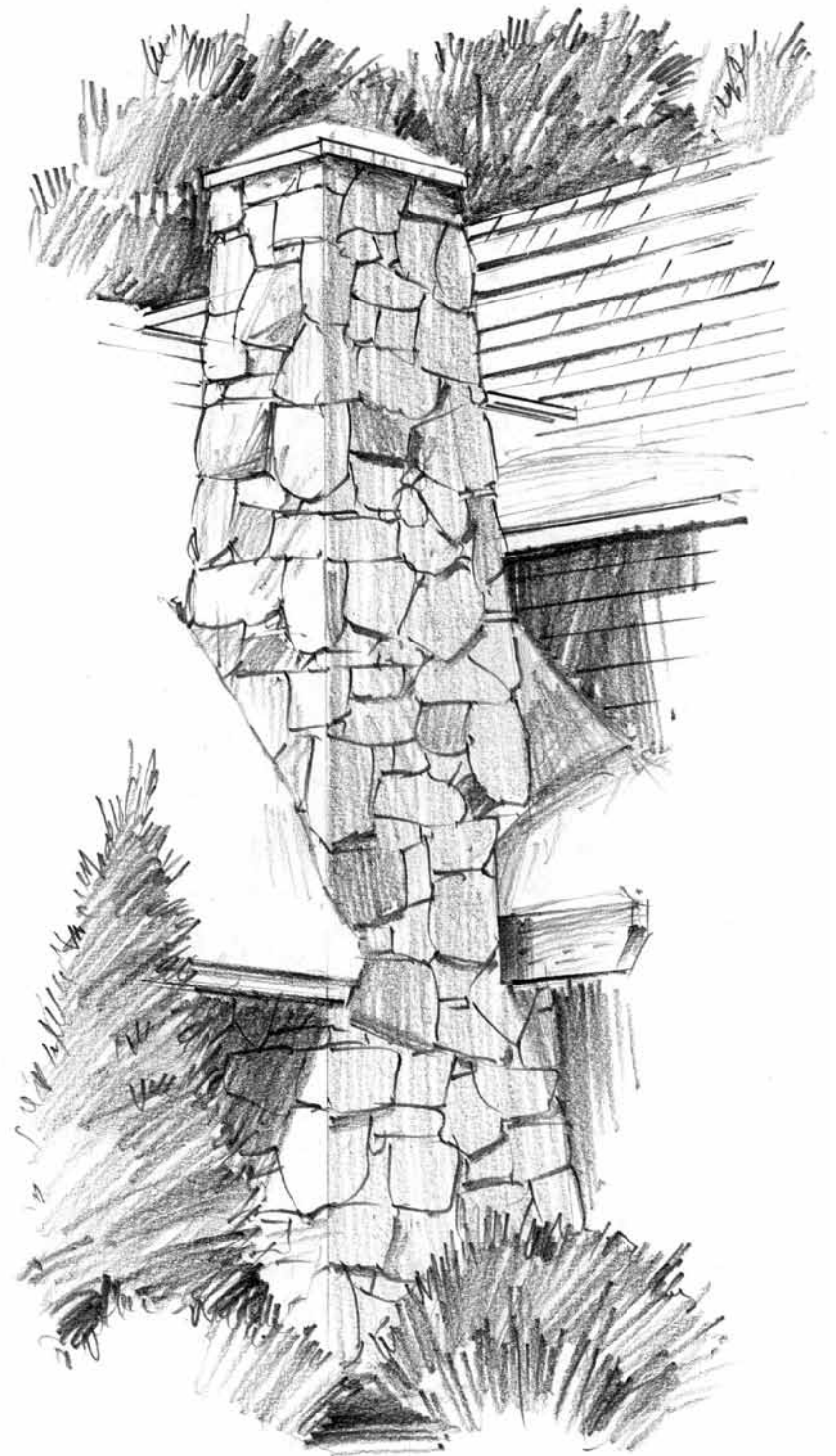
## OVERVIEW

*The journey of architectural excellence is completed with critical thought in the detailing.*

Well conceived and thoughtfully executed detailing can make a good building great, but an otherwise very good home will fall into the category of mediocrity should there be no continuum of follow-through to complete the scheme by way of successfully integrated detailing.

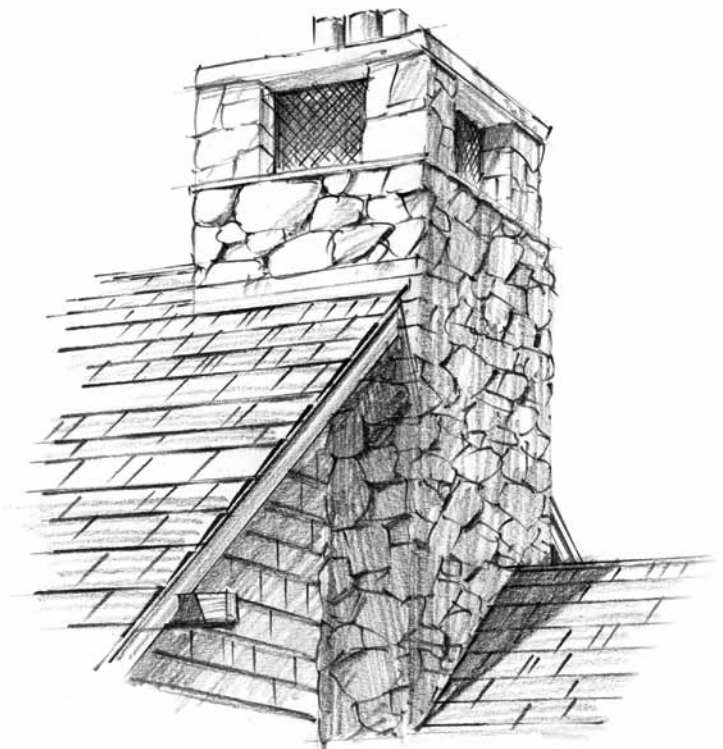
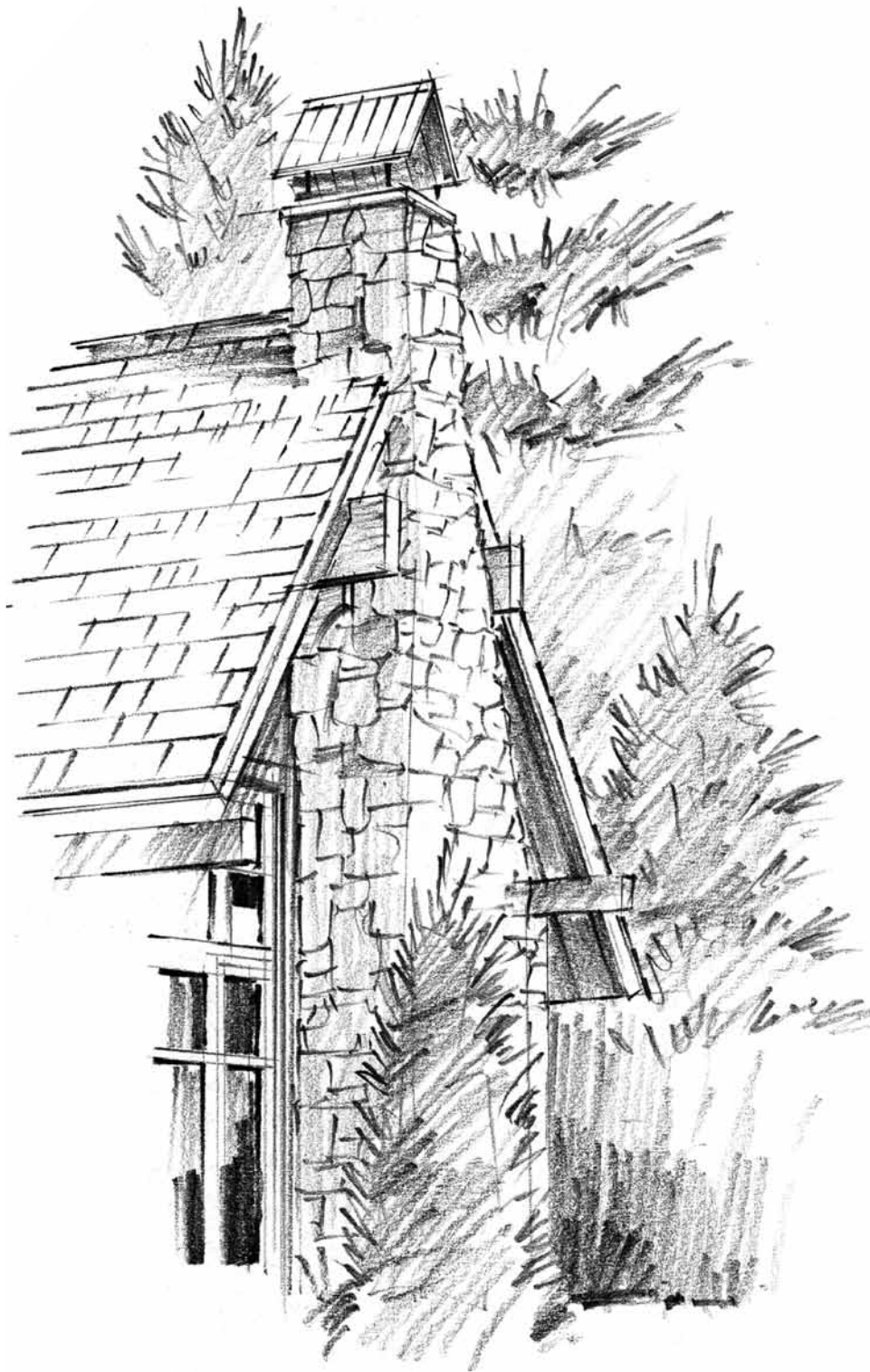
As in the previous sections of this Handbook, there are few prescriptive notations in the pages that follow; rather the responsibility for carrying out the intent of the language is placed with the Architect for each project within MARTIS CAMP.

The following pages illustrate examples of approvable details MARTIS CAMP projects.



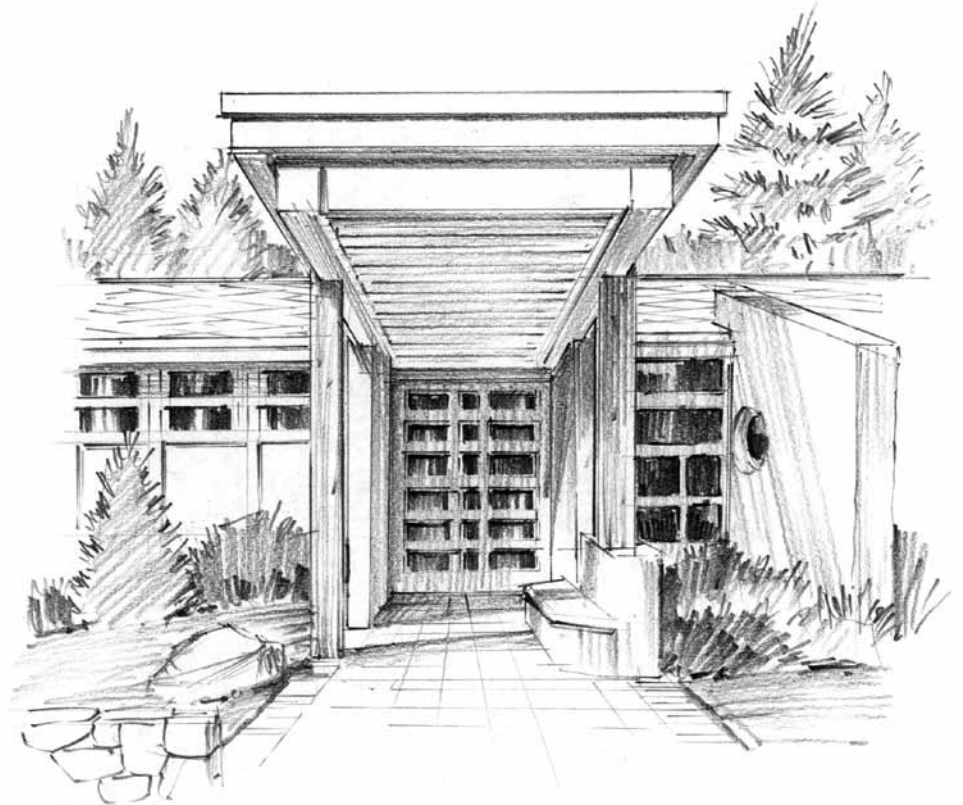
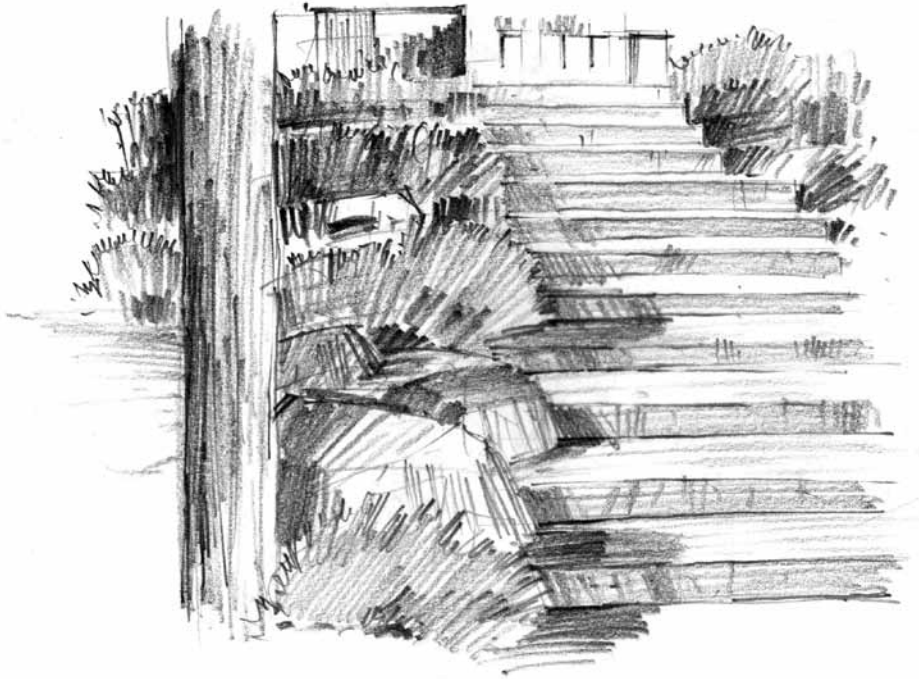
DETAILS ARE THE ESSENCE OF ARCHITECTURE





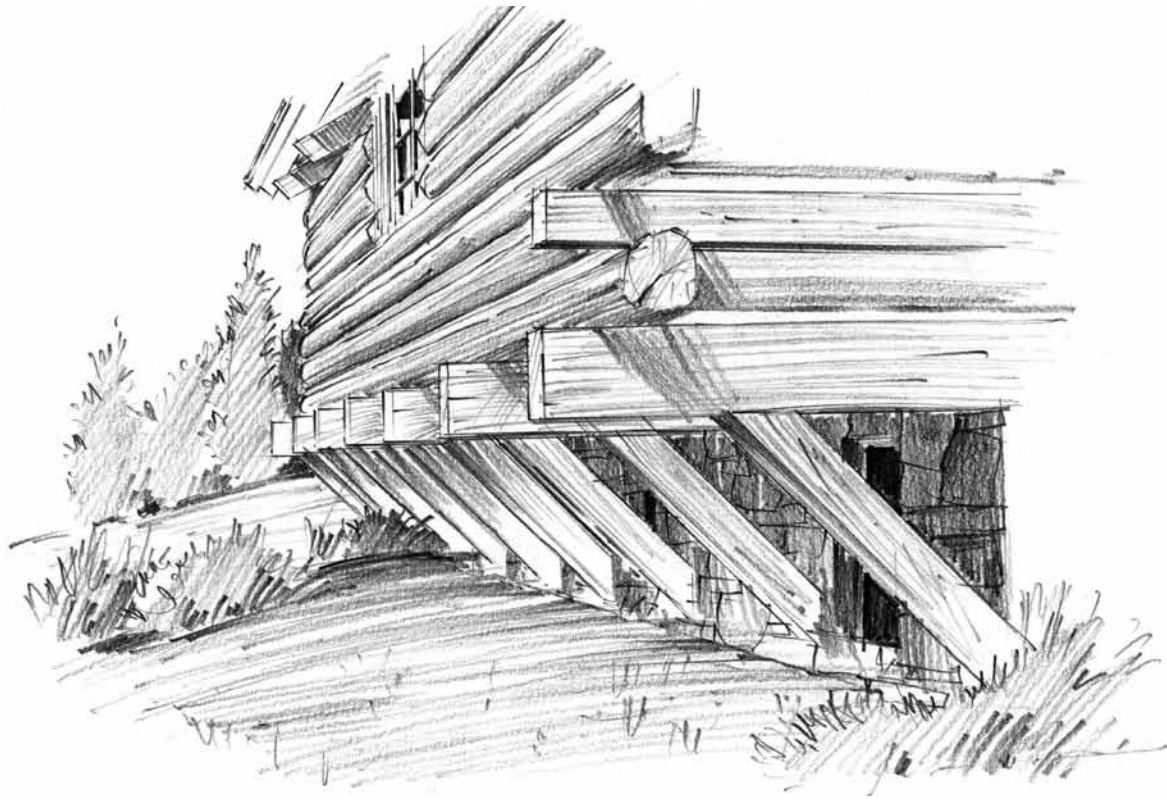
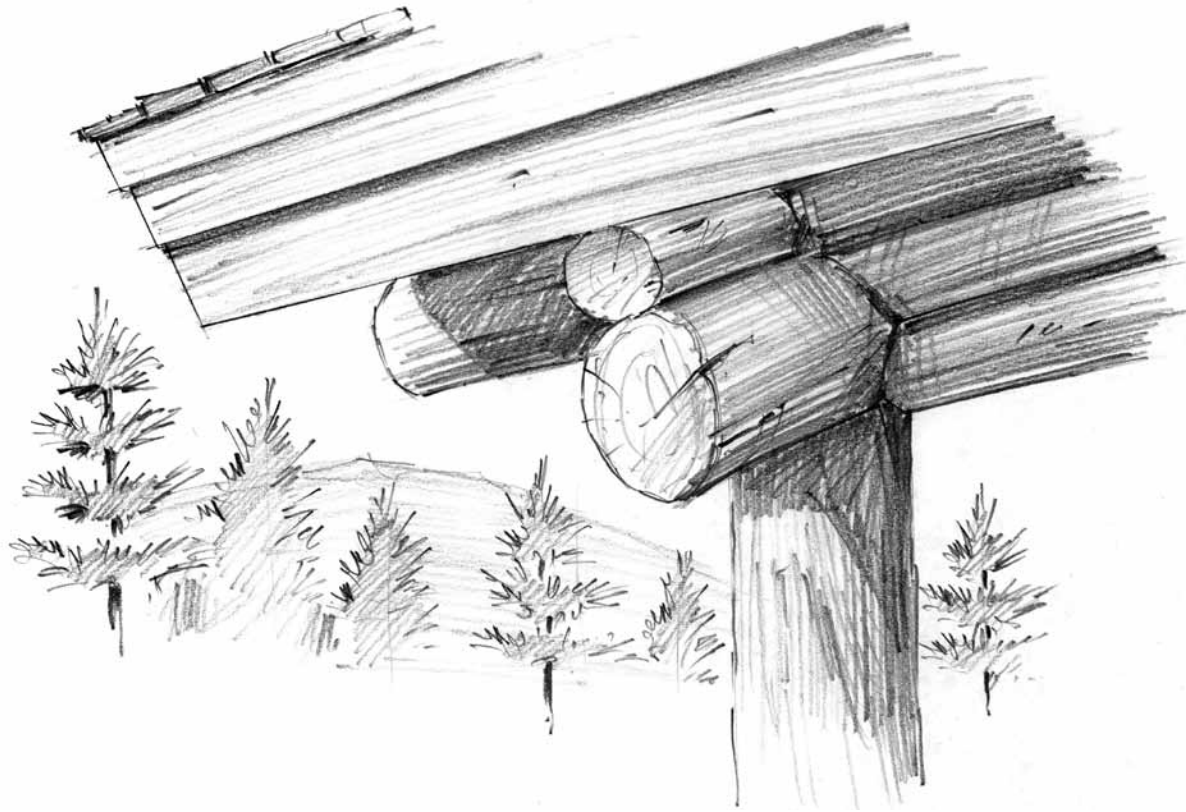
DETAILS HELP FOCUS SCALE



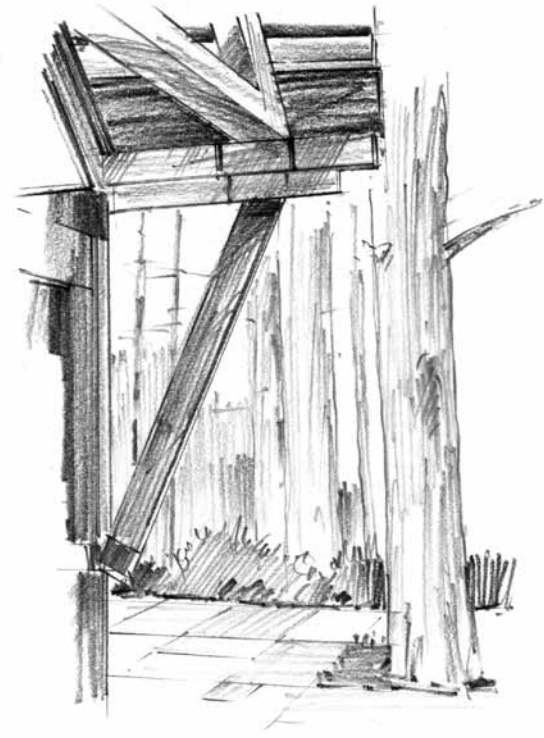
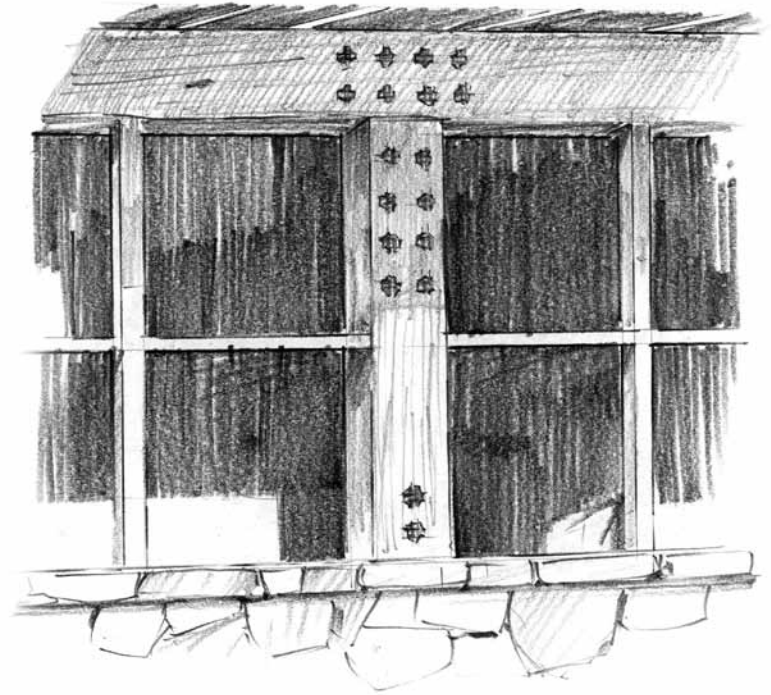
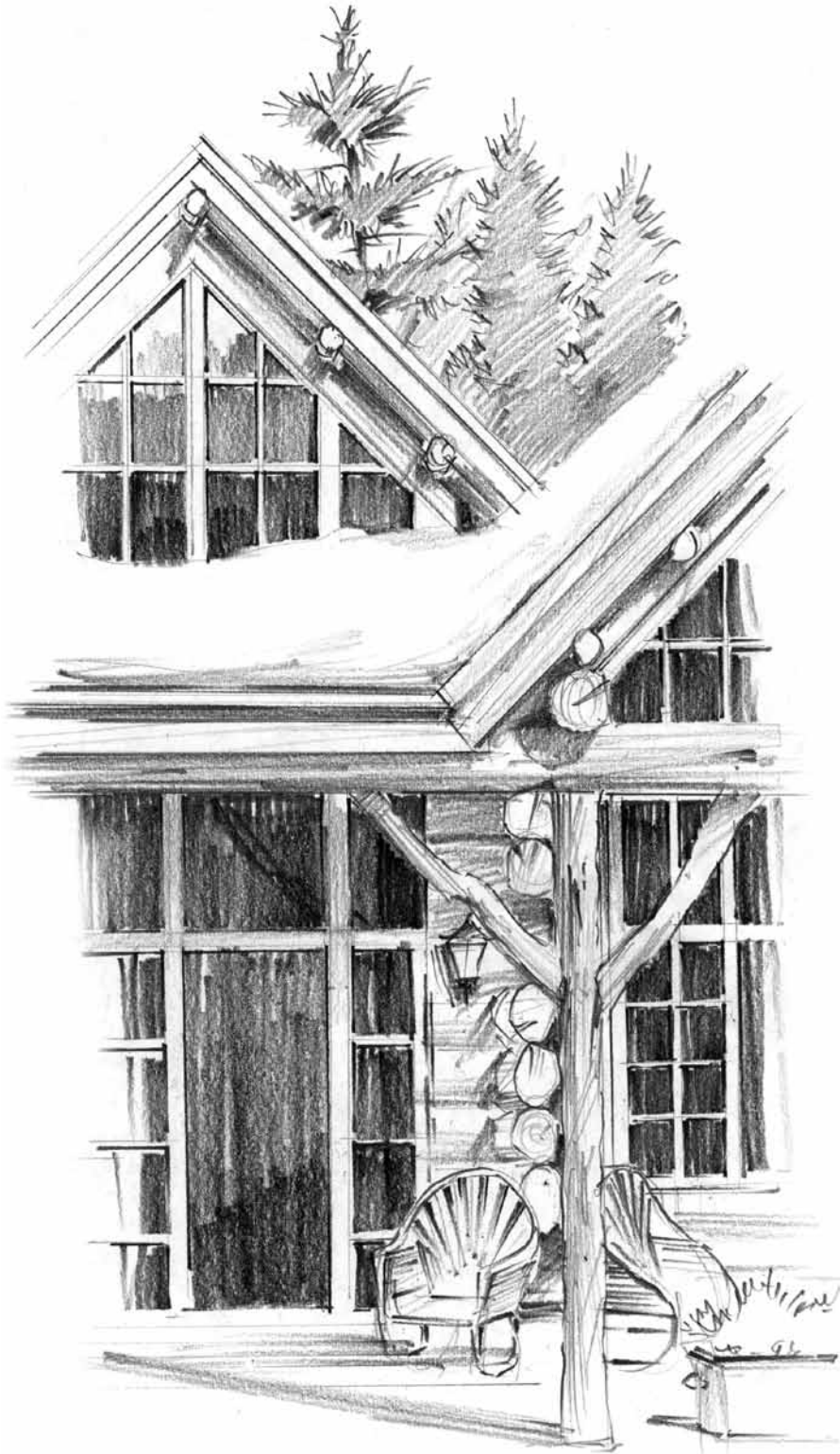


DETAILS BECOME MEMORABLE ELEMENTS OF HOMES





DETAILS EXPRESS ARTISTRY



DETAILS CAN EXPRESS A HOMES PURE ESSENCE



#### 4.1 WINDOWS & SKYLIGHTS

*Windows are an easily identifiable component of a building's quality. As such, recognize this is an inappropriate category for budget tightening.*

Use windows and skylights that have scale and detailing appropriate to the architecture.

Where glazing may create undesired reflections on adjacent parcels or into the night sky, direction will be provided to reduce the glass area, mitigate the presentation of the glass to those offsite. In certain circumstances the use of sputtered anti-reflective glazing, or the addition of deep overhangs, may be required to reduce the incidence of off-site reflectivity.

Do not use window products made of all vinyl or which have simulated divisions sandwiched only between the glazing layers.

Window and skylight shapes should complement the architectural shapes in which they are located.

Skylights should be limited in quantity and size relative to the overall scale of the roof. Skylights must have tinted, flat glazing that projects above the roof plane the least amount practical. Frames shall complement the hue of the roofing, so as to provide the least contrast possible.

Avoid placing windows and skylights such that undesirable views of interior elements [mechanical systems, storage areas, etc.] are presented to the exterior. Nighttime light pollution considerations here are equally important.

Be considerate of others when proposing the use of patterned or obscured glazing, as these elements can often increase the incidence of light pollution. While the visible use of stained glass depicting images of scenery, wildlife, sports, etc. will likely not be approved, restrained use of architectural stained glass may be acceptable in a building's glazing.



WINDOW COMPOSITION CAN BE EXTREMELY DIVERSE





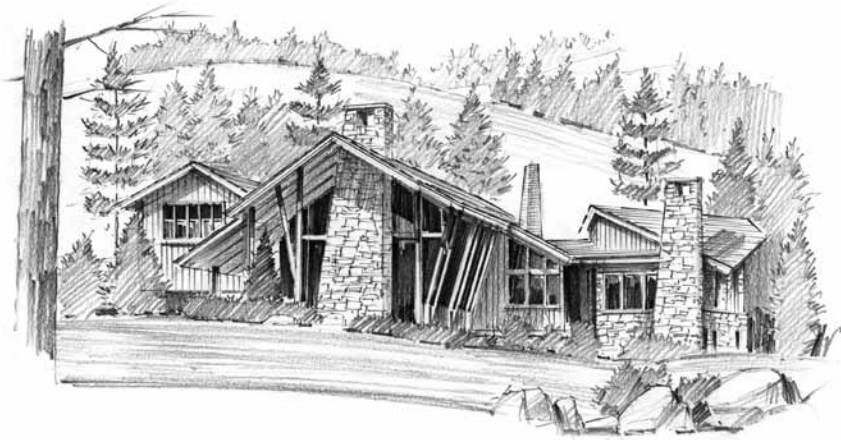
WINDOWS BECOME THE NEGATIVE SPACE OF THE COMPOSITION





WINDOWS CAN HELP SET OFF THE ROOF FORMS





WINDOWS BECOME THE GRAMMAR OF THE EXTERIOR ELEVATIONS





WINDOWS CAN CREATE INTERIOR INTIMACY OR GRANDEUR





WINDOWS CAN EXPRESS CONTEMPORARY OR TRADITIONAL COMPOSITIONS

## 4.2 FIRE-RESISTIVE CONSTRUCTION

*Employ the use of fire-resistive construction techniques to reduce the potential that your home could start or contribute to a structure or wild land fire.*

All of us are aware of the sometimes-extreme fire danger that exists in the inter-mountain west. When designing your project, always be cognizant of the dry conditions and high fire danger by designing projects that respond to this concern. Design landscapes creating defensible space and buildings using fire-resistive materials. All exterior cladding materials at Martis Camp must be compatible with California's Chapter 7a Building Code requirements for structures within Wildland-Urban Interface (WUI) areas.

No wood shakes or shingles of any kind may be used for any exterior covering [including roofing] without the Truckee Fire Protection District's prior approval and as otherwise listed on the California State Fire Marshal's WUI approved building materials list.

Wood siding or trim with bark attached cannot be used as siding. Instead consider the use of stone, concrete, metal and other non-flammable products as ways to reduce the use of products that contribute to the spread of fire.

On January 1, 2011, California instituted a new requirement for residential fire sprinklers in newly constructed homes. Check with the Placer County building department for details.

### 4.3 REFUSE

*Thoughtful design of the ways we store garbage until collection will minimize impacts on the region's wildlife populations.*

Design areas to temporarily store household garbage pending pick-up in such a way as to not attract bears and other wildlife. This begins with the use of bear-resistant refuse containers.

Incorporate refuse enclosures into a structure—either the main building or an extension thereof and preferably not visible from the roads or golf course. Ensure compliance with the then current version of Placer County's Bear-Resistant Enclosure Ordinances during the design and construction phase.



#### 4.4 SPORTS COURTS, POOLS & SPAS

*Camp is equal parts recreation and relaxation. Due to their intense land-use needs, carefully consider the need and likely use patterns prior to duplicating facilities existing within MARTIS CAMP.*

Sport courts, pools and outside spas may be allowed if they are successfully integrated into the home's site [and building] design concept. Consideration will be on a case-by-case basis where the size of the property and the siting proposed for the court accommodates it well. These elements should not appear to have been designed as afterthoughts and simply appended to the home. Spas must contain an approved ASTM listed safety cover and must meet all other Placer County requirements

Sports courts [tennis, basketball etc.] cannot include lighting for evening use. Pools and spas may have underwater lighting as appropriate for safety as long as they do not create light pollution or light trespass.

## 4.5 LIGHTING

*The ability for all to see an abundance of stars at night is one of the characteristics that maintains a rural atmosphere. Minimize light pollution to maintain that view. Additionally, be considerate of neighbors by minimizing light trespass onto their properties.*

As required by Placer County ordinance and Conditions of Approval, design lighting systems to keep the impact of lights within the limits of your property.

Exterior lighting will only be allowed within the Building envelope in areas where the fixtures serve to light occupied areas of the home, such as a porch, walkway, patio or deck.

Light trespass is defined as the creation of a shadow from light fixtures [by way of the direct rays from the lamp] onto a neighboring property. Design or specify exterior lighting fixtures to prohibit this from occurring with the use of fully-shielded, downward-projecting fixtures.

Light pollution is the escape of light into the night sky. Cumulatively, this limits our ability to see the nighttime sky clearly. Exterior light fixtures must be shielded to prohibit up-lighting.

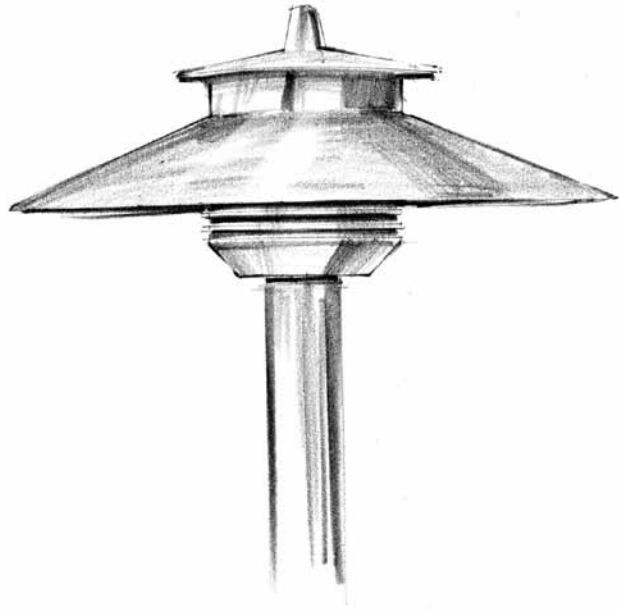
Single instances of a fixture emitting a high level of unshielded light can negatively impact neighbors across very long distances.

Additional concerns should be considered with glazing that allows excessive interior lighting to escape--especially by way of well-illuminated garages and skylights receiving direct rays of interior light fixtures. For these conditions, install window and skylight coverings to reduce the incidence of light escaping after dark.

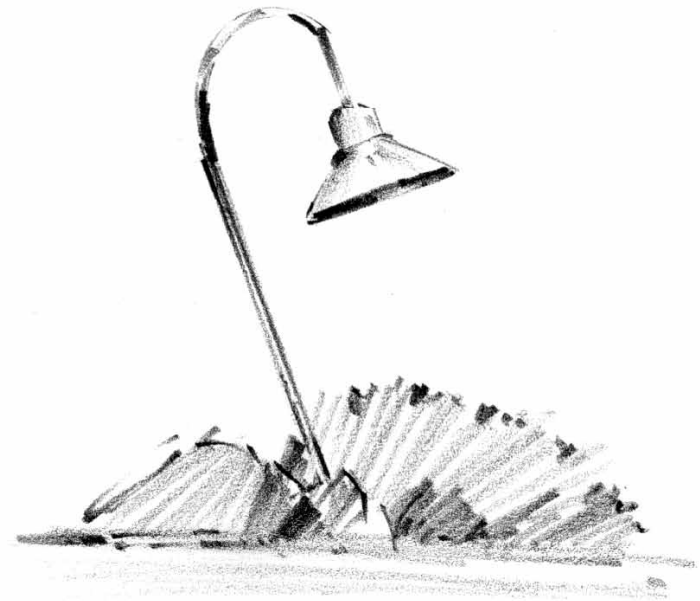
Safety and security lighting is allowed around the home and along driveways when believed to be necessary. Motion sensor-activated fixtures with automatic shutoff after five minutes is required to minimize offsite impacts from exterior security and safety lighting including any installed at driveways. Where possible, maintain setbacks for all exterior-mounted fixtures that are at least 3 times the mounting height away from the property line. For example: a light fixture that is mounted at 10 feet high should be at least 30 feet from a property line.

Consistent with Placer County Conditions regarding the use of exterior lighting at MARTIS CAMP, landscape lighting may be employed where there is minimal impact to adjacent properties. Use the minimum amount of light necessary and only light areas that require it.

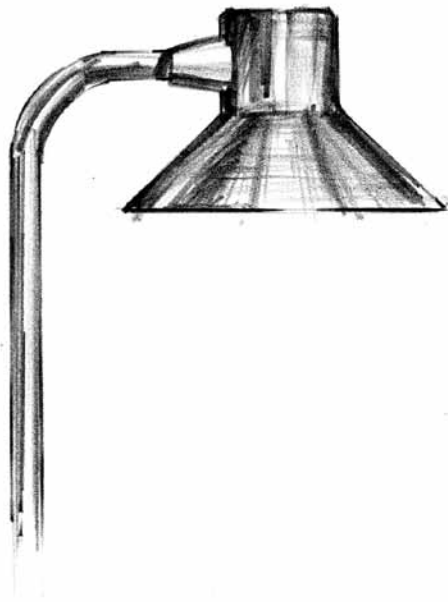
Due to their unusual color effects, sodium and mercury vapor lights are not to be used outside of homes.



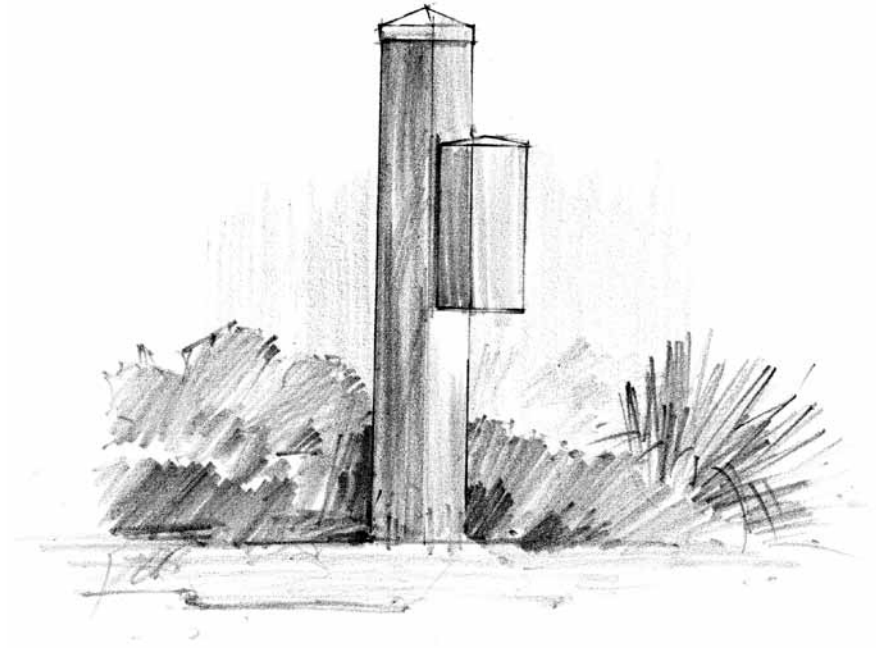
*GARDEN LIGHT WITH SHIELDED LIGHT SOURCE SPREAD  
OVER A WIDE AREA.*



*SMALL GARDEN PATH LIGHT WITH GOOSENECK POLE  
DIRECTING LIGHT DOWNWARD TO PATHWAYS AND  
PATIO EDGES*



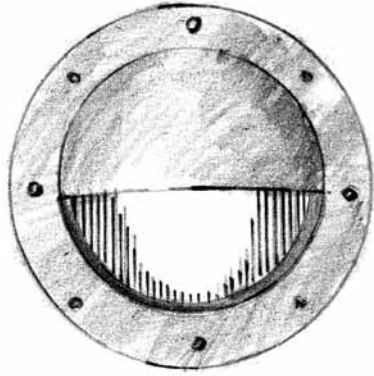
*DECORATIVE PATH LIGHT WITH SHIELDED LIGHT SOURCE  
AIMED DOWNWARD TO CREATE SMALL POOLS OF LIGHT  
ALONG INTIMATE WALKWAYS*



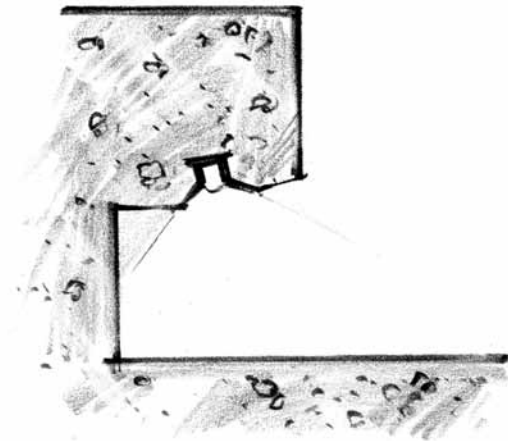
*GARDEN LIGHTS MAY ALSO BE ATTACHED TO LOW  
DECORATIVE WOOD POSTS SET ADJACENT  
TO HARDSCAPE*

**SAMPLE LIGHT FIXTURES**

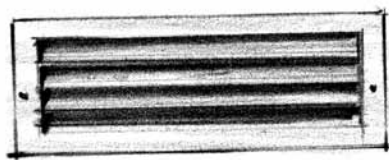




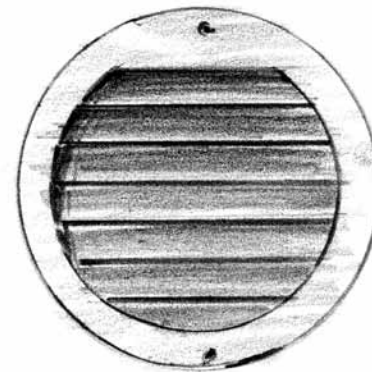
*STEP LIGHT WITH HALF SHIELD CASTING LIGHT ON  
STAIRWAYS AND LOW WALLS. THIS TYPE SHALL NOT  
BE VISIBLE TO PUBLIC VIEW*



*FULLY CONCEALED STEP LIGHT MOUNTED UNDER  
STEP TREAD CASTING A SOFT AND EVEN LIGHT  
ACROSS STAIR RAISERS*

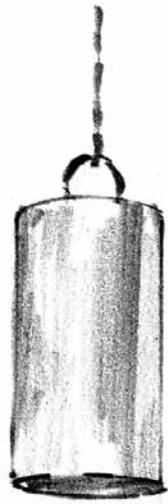


*COMPACT STEP LIGHT WITH LOUVERS DIRECT  
SHIELDED LIGHT TOWARDS SURFACE OF STAIR*



*ROUND SHAPE STEP LIGHT FULLY SHIELDED WITH  
LOUVERS DISCRETELY FOCUSING LIGHT TOWARDS  
SURFACE OF STAIR*

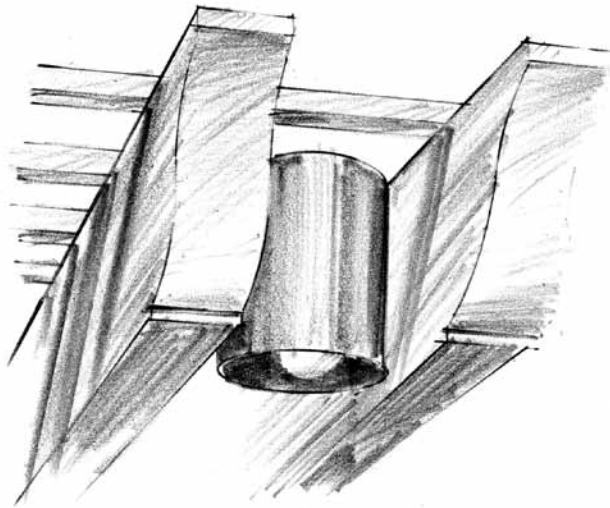
#### SAMPLE LIGHT FIXTURES



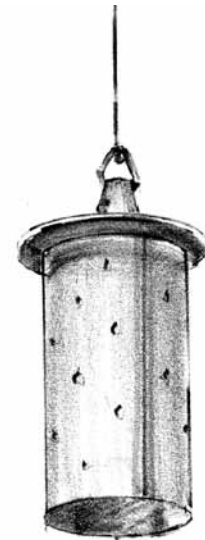
*PENDANT LIGHT MOUNTED IN TREE TO FOCUS LIGHT  
DOWNWARD ONTO PATHWAYS OR PATIOS*



*DIRECTIONAL DOWN LIGHTING FROM MATURE  
TREES CAN BE ACHIEVED THROUGH SPECIAL  
MOUNTING HARDWARE*

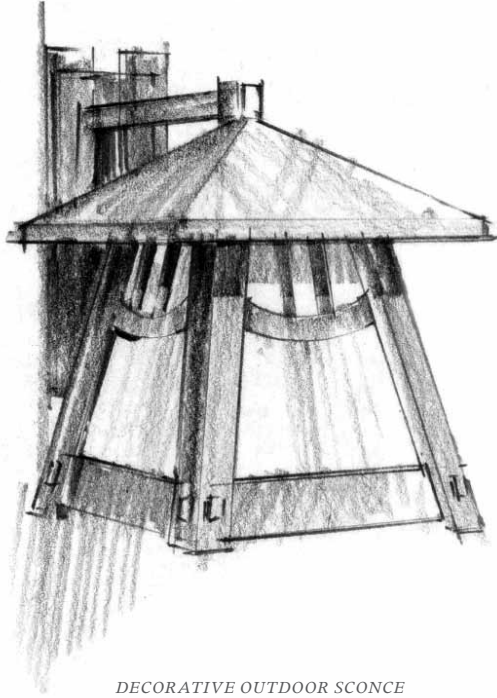


*TRELLIS MOUNTED LIGHTING CAN ALSO BE USED TO  
DOWNLIGHT PATHWAYS OR PATIOS*

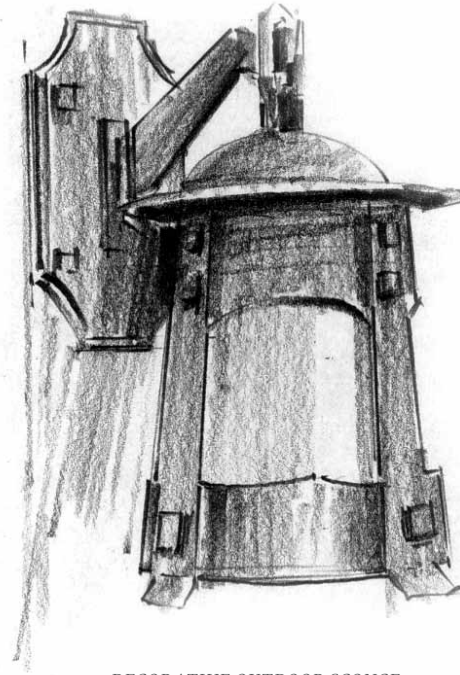


*HANGING DOWNLIGHT PENDANT WITH  
PERFORATIONS FOR A "TWINKLE" LIGHTING EFFECT*

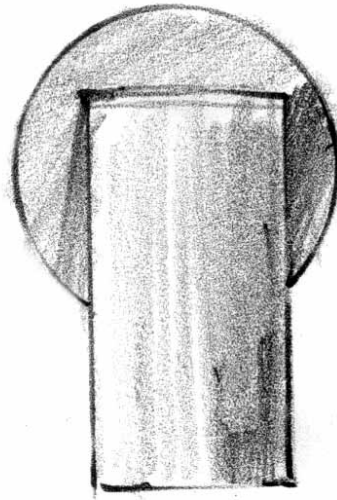
#### SAMPLE LIGHT FIXTURES



*DECORATIVE OUTDOOR SCONCE*



*DECORATIVE OUTDOOR SCONCE*



*SIMPLE WALL MOUNTED SECURITY LIGHT CASTING  
ILLUMINATION IN A DOWNWARD DIRECTION*

SAMPLE LIGHT FIXTURES



#### 4.6 FENCES & SITE WALLS

*Incorporate extensions of the architecture as that —not as afterthoughts.*

Fences and / or site walls are allowed as long as they are designed to be complementary with the masses and detailing for the structures.

No fence or site walls may delineate any portion of a property's building setback lines or contain light fixtures unless adjacent to an exterior living area.

In accordance with Placer County restrictions, no fences or site walls may be placed in the property's building setbacks.

An exception to the fencing regulations is permitted during construction when a 4-foot high dark green or black Construction Zone and tree protection fencing, if applicable, must be erected and maintained during the active period of construction.

#### 4.7 FIREPLACES & FIRE PITS

*Agreeing to the use of low emission fireplaces will contribute to the air quality of all property owners living in the Martis Valley.*

Placer County Ordinances limit the emissions from a property's wood-burning devices to a total of 7.5 grams of particulates per hour regardless of the number of dwellings or structures. The County also prohibits the installation of non-EPA Phase 2 certified wood burning devices.

All exterior fireplaces and fire pits shall be natural-gas burning. All interior wood-burning fireplaces shall also be plumbed [roughed-in] for natural gas.

There are no limits to the number of natural-gas-only devices.

#### 4.8 MECHANICAL EQUIPMENT

Give consideration to the architectural integration of utility meters, AC condensers and generators so they do not appear as an afterthought. Check with the servicing utility providers for their specific requirements.

## 4.9 ENTRY GATES & ADDRESS MARKERS

*If a gate is desired, it must be designed so as to be consistent with the project's architecture and also be located beyond the front setback. Address markers are also allowed within limits of expression generally agreed to be acceptable near the roadway.*

Entry gates can be approved on individual properties when placed on the home's side of the front building setback. There will be no standardized or project-wide criteria for gates, but they must be designed in such a way so as not to project a strong visual image onto the roadway.

Keep gate architecture and any associated lighting understated as this is not the place to make an imposing design statement. Keep such devices low and complementary to the rest of the project. Materials and colors must be chosen carefully. Also, keep in mind that these elements should be designed as vehicular control items, not with gates so dense so as to control pedestrians or completely block views through the gate.

Address markers are allowed to subtly identify the street address of the property. Limited amounts of standardized design criteria are available to Owners who wish to provide address markers near the roadway. With exceptional design qualities, address markers may be constructed to be complementary to the design of the remainder of the project while providing way-finding assistance to those on the road. Address markers will generally be limited to four feet high and may not create strong contrasts other than that required for numerals versus their background.

Gate structures and address markers may be combined where desired. Gates and markers may not incorporate artistic expressions beyond that of the architecture of the structures. Architecture Review maintains the right to disapprove designs for gates or address markers not believed to be in compliance with these requirements.

Ensure the design of any gate and address markers has been approved by the Truckee Fire Protection District.







## 5 - CONSTRUCTION REGULATIONS

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- VEHICLE ACCESS
- TRAFFIC/PARKING
- EQUIPMENT OPERATIONS & PARKING
- MATERIAL DELIVERIES
- CONSTRUCTION DEBRIS
- CONCRETE WASTE MANAGEMENT
- EXCAVATING, EXCESS MATERIAL & BLASTING
- ARCHAEOLOGICAL & PALEONTOLOGICAL RESOURCES
- DUST & NOISE
- TEMPORARY POWER
- WORK HOURS
- TEMPORARY TOILETS
- ALCOHOL, CONTROLLED SUBSTANCES & FIREARMS
- FIRES, FLAMMABLE MATERIALS & FIRE EXTINGUISHERS
- SITE VISITS
- PETS
- CONSTRUCTION TRAILERS & MATERIALS STORAGE
- SIGNS





# 5 – CONSTRUCTION REGULATIONS

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## OVERVIEW

*MARTIS CAMP is located in a spectacular natural setting. Environmental stewardship is one of the essential elements of this community; therefore the impacts associated with the construction process must be minimized through a carefully planned and well-executed set of construction standards. The following standards will be enforced during construction of all residential projects at MARTIS CAMP. These standards are designed to protect all Property Owners, the recreation experience and the existing natural environment.*

### 5.1 VEHICLE ACCESS

Before starting any residential construction activity at MARTIS CAMP, all contractors must meet with Security staff to provide descriptions of cars and trucks that may need access to the project's site. No person or vehicle will be able to travel past the MARTIS CAMP entry gate until the requested information has been received and the vehicle's Pass has been issued. The MARTIS CAMP Architecture Review staff or the Security staff may require proof of vehicle insurance as a condition of entry. Pass holders may only travel to properties noted on the Pass. Security staff may deny entry into MARTIS CAMP to any Pass holder who violates the provisions of the CC&Rs, Architecture Handbook or any other Community Association rule.



## 5.2 TRAFFIC/PARKING

Safety is paramount at MARTIS CAMP. Security staff will enforce traffic regulations and parking rules at MARTIS CAMP. A summary of the rules are printed on MARTIS CAMP vehicle passes. A detailed description of traffic rules may be obtained at the Entrance Gate. Modifications to the rules and regulations may be made at any time.

Property Owners, their guests and agents [including family members, contractors, subcontractors, suppliers, architects, employees, etc.] are required to follow all Vehicle Safety Rules. The General Contractor in charge of a specific project is responsible for the actions of the Pass holders [construction crew members, sub-contractors, suppliers, etc.] but will not be responsible for their traffic-related fines.

All persons entering MARTIS CAMP must obey the Vehicle Safety Rules. Violations may result in fines and the temporary suspension of the privilege to drive in MARTIS CAMP. In the event of a Vehicle Safety Rule violation, one warning may be given for minor infractions before a fine will be imposed or driving privileges temporarily suspended.

MARTIS CAMP Architecture Review or another committee will review and take action on all Security staff recommendations for fines or suspensions of driving privileges. Vehicle Safety Rule violators may submit written evidence to the Committee as to why they believe they are not in violation of a Vehicle Safety Rule. Decisions of MARTIS CAMP Architecture Review are final. Fines for traffic and parking violations and enforcement procedures may be changed at any time.

### 5.3 EQUIPMENT OPERATIONS & PARKING

Construction crews may not park on or use areas outside of the project's Construction Zone, on commonly-owned areas or in areas identified as open space. All vehicles must be parked in the approved driveway and turnaround areas. If construction vehicles cannot be kept inside of the Construction Zone, overflow parking may occur along the edge of the roadway during construction hours. Vehicles may only park on one side of the road with all tires on the paved area.

It is important to preserve normal traffic flow including snow removal equipment and emergency vehicles. Construction vehicles may not park on neighboring properties, driveways, common areas, open space or along any road adjacent to occupied homes. If the road is not wide enough to facilitate on-street parking near the construction site, crews may need to park further away where the road is wider. Parking on the shoulder of the road is not allowed.

Contractors who demonstrate hardship in meeting parking requirements may apply for a Construction Variance to ease parking difficulties. However, not all sites will be able to accommodate alternate parking arrangements and MARTIS CAMP Architecture Review has authority to require mitigation on those sites that are approved for alternate parking arrangements. Performing vehicle maintenance is not allowed unless the vehicle is disabled such that its operation is unsafe. In that case the vehicle must be towed to an offsite repair facility.

Intentional or unintentional discharge of fluids is not allowed. Vehicles leaking fluids may not be brought into MARTIS CAMP. Vehicles that are leaking fluids may be refused entry or requested to be taken off MARTIS CAMP property until it is proven that it has been repaired.

Heavy equipment must have a means of absorption or containment of leaking fluids underneath whenever the equipment is not in use. At the end of the work day, all construction equipment must be parked within the Construction Zone. Overnight storage of heavy equipment and vehicles is only permitted on active construction sites where construction activity using the equipment is ongoing daily.

#### 5.4 MATERIAL DELIVERIES

All building materials, equipment and machinery required for construction must be delivered to and remain within the Construction Zone of each property, clear of all setbacks. This includes building materials, earth-moving equipment, generators, mixers, cranes and any other equipment or machinery that will remain at the project site overnight.

Material delivery vehicles may not drive across setbacks [except via the construction access], adjacent properties, common areas or golf course property to access a construction site or provide deliveries in a road or right-of-way.

#### 5.5 CONSTRUCTION DEBRIS

Contractors are responsible to clean up all construction debris at the end of each work day. A commercial dumpster must remain on project site during all phases of active construction. Please locate all dumpsters in the Construction Zone. If it is shown that a construction site cannot accommodate a dumpster, alternative arrangements may be made by contacting Architecture Review.

Refuse receptacles must be emptied at least weekly. Disposal must be at a legal offsite facility. Owners and Contractors are prohibited from dumping, burying or burning construction debris anywhere within MARTIS CAMP. Heavy objects, such as stone, steel, heavy timbers, etc., must be removed from the site and legally disposed of upon completion of the work of each trade that has generated the debris.

During construction, each site must be kept neat and be properly monitored to prevent it from becoming an eyesore for neighbors, the golf course, common area or open space. Clean-up costs incurred by the MARTIS CAMP Community Association or Architecture Review in enforcing these requirements shall be reimbursed by the Contractor or subtracted from the Construction Deposit.

Dirt, mud or debris resulting from activity on each construction site must be removed daily from roadways, open spaces and driveways or other portions of MARTIS CAMP.



## 5.6 CONCRETE WASTE MANAGEMENT

All waste from the cleaning of concrete equipment [mixers, delivery trucks, line pumps and boom trucks] must occur in the concrete truck-based reclaiming system or a recycling bin and legally disposed of off-site.

## 5.7 EXCAVATING, EXCESS MATERIAL & BLASTING

Excess material resulting from blasting as well as all other excess excavation materials must be removed from the project site and be legally disposed. Temporary storage of these materials must occur within the Construction Zone.

Blasting must follow strict procedures. The Contractor must indicate on the Blasting Notification application the specific date, time, location and extent of proposed blasting.

The Contractor must submit the completed and signed Blasting Notification application to Architectural Review at least two working days in advance of the scheduled blasting. The Contractor is also responsible for obtaining appropriate approvals from Placer County and any other governing agency. Architectural Review maintains authority to deny or delay blasting operations for good cause.

Blasting may only be performed by licensed personnel, with all requisite insurance coverage as required by government ordinances specific to the proposed blasting activity. MARTIS CAMP Architecture Review has the authority to require a pre-blast survey and written documentation of anticipated seismic effects on improvements of all adjoining properties, with confirmation that such effects will not be injurious to other persons or properties, public or private and that all appropriate protection measures have been utilized.

## 5.8 ARCHAEOLOGICAL & PALEONTOLOGICAL RESOURCES

If any paleontological resources, archeological artifacts, exotic, non-native rock, shells or unusual amounts of bone are uncovered during construction activity, all work on the project site must stop immediately and a qualified paleontologist or archeologist must be retained by the Owner [at their cost] to evaluate the finding. Should either occur, the Owner is required to contact Placer County for additional instructions prior to proceeding with further activity.

## 5.9 DUST & NOISE

The Contractor is responsible for controlling dust and noise generated from their construction site, including the removal of dirt and mud from road ways and rights-of-way daily that is the result of construction activity on the property.

Contractors must cover stock-piled materials and provide sufficient watering to eliminate any fugitive dust. Consider the requirement to eliminate dust from leaving the project site during periods of inactivity as well as during construction operations.

The use of audio equipment must not be audible beyond the property lines, especially adjacent to the Golf Course or other common parcels and occupied homes. Repeated violations may result in fines and prohibition of any use of any audio equipment during construction.

## 5.10 TEMPORARY POWER

Existing power supplies must be used when available. Do not use generators unless power service is unable to be provided by the power company. Due to noise concerns, fuel-powered generators should never be used when there is an existing power source on site. Power lines shall be placed underground at the earliest possible opportunity.

## 5.11 WORK HOURS

Construction work is allowed weekdays between 7:00 a.m. and 6:00 p.m. between March 1 and October 31. During the months of November through February, construction is allowed from 7:00 a.m. until 5:00 p.m.

Construction activity which is not disruptive and which does not generate excessive noise may be extended by one hour in the evenings and on Saturdays between 8:00 a.m. and 5:00 p.m.

Excessive noise is defined as activities that generate noise audible from off site such as heavy equipment operation, hammering, power sawing, concrete delivery, compressor-generated tools, etc. Quiet outdoor construction activities such as hand landscaping, activity within an enclosed structure, hand-painting and staining is permitted on Saturdays. Construction [including landscaping by anyone other than the Property Owner] is not permitted on Sundays.

There are several days each year when construction may be restricted due to holidays or community events. The MARTIS CAMP Community Association will establish dates for these holidays, community events and special occasions each year. Contractors will be notified in advance of these occasions and are responsible for restricting work as required on their sites on these days.

## 5.12 TEMPORARY TOILETS

Contractors are responsible for providing adequate sanitation facilities for all workers and visitors to their project site at all times until Final Release is requested in writing. Temporary toilets must be located within the Construction Zone.

Owners wishing to keep a temporary toilet on the project site after Final Release may make special arrangements to do so by requesting such from Architecture Review.



### 5.13 ALCOHOL, CONTROLLED SUBSTANCES & FIREARMS

The consumption of alcohol or the use of a non-prescription or illegal controlled substance by any construction personnel anywhere on MARTIS CAMP property is prohibited.

The possession or use of any type of firearm anywhere within MARTIS CAMP is prohibited.

### 5.14 FIRES, FLAMMABLE MATERIALS & FIRE EXTINGUISHERS

Fires are only allowed for equipment designed to heat space, masonry water, roofing products, plumbing fittings, etc. Careless disposal of cigarettes and other flammable materials as well as the build-up of potentially flammable materials constituting a fire hazard is prohibited.

A minimum of two 10-pound 4A / 20BC rated dry chemical fire extinguishers must be displayed in a conspicuous place on each project site at all times in addition to requirements of the Truckee Fire Protection District. Additional restrictions may be imposed during periods of high fire danger.

### 5.15 SITE VISITS

Visitors to project sites are limited to those persons with official business relating to the construction activity, such as construction workers and trades people, architect's staff, building officials, Security staff, Architecture Review staff Board of Directors, sales personnel and the property Owner[s] and their family. There can be no invitations extended to non-owner friends or family.

## 5.16 PETS

No pets, except for disability-assisting dogs, may be brought onto the property by anyone other than the Owner. If the Owner brings a pet to the site, it must be properly contained within the property or leashed when taken beyond the property lines.

## 5.17 CONSTRUCTION TRAILERS & MATERIALS STORAGE

Temporary buildings for offices or material storage shall not be used for any kind of advertising. Material storage shall be as orderly as practical. Placement and appearance of all trailers and storage containers must be approved in advance by Architecture Review.

## 5.18 SIGNS

One temporary construction sign is allowed per property during active periods of construction. The visible area of the sign face may not exceed 10 square feet. The sign must be placed parallel to the roadway.

Contact Architecture Review for design specifications [materials, colors, etc.] and installation requirements [placement, maximum height, etc.] prior to designing, fabricating or installing a temporary project sign.





## 6 | CONSTRUCTION PROCEDURES

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- ORIENTATION
- PRE-CONSTRUCTION MEETING
- CONSTRUCTION REQUIREMENTS
- INSURANCE
- SITE PREPARATION
- COMPLIANCE DEPOSIT
- PERMISSION TO BEGIN CONSTRUCTION
- BEGINNING CONSTRUCTION
- CHANGE OF CONTRACTOR
- COMPLETION OF CONSTRUCTION
- CONSTRUCTION SCHEDULES
- CONSTRUCTION VARIANCES
- OBSERVATION & ENFORCEMENT
- EXTERIOR MATERIALS & COLORS
- CHANGE REQUESTS
- NOTIFICATION OF COMPLETION & FINAL RELEASE
- CONDITIONED FINAL RELEASE



# 6 – CONSTRUCTION PROCEDURES

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## OVERVIEW

*To establish and maintain clear communication for projects in the construction phase, communication shall be conducted between Architecture Review and the General Contractor. The Architect will need to remain involved in the project to provide services for Exterior Color and Materials approvals, any Change Requests, Design Variance Requests and Record Drawings.*

### 6.1 ORIENTATION

Prior to beginning construction, the General Contractor must meet with Architecture Review for an Orientation to review the then current construction regulations and procedures. Contractors need to attend only one Orientation—it is not necessary to repeat the review for subsequent projects. Contact the MARTIS CAMP Architecture Review office to schedule a time for an Orientation.

### 6.2 PRE-CONSTRUCTION MEETING

The Pre-Construction Meeting may be combined with an Orientation when practical. This meeting is necessary for each project so that proposed construction activities can be coordinated and tailored to the specific site. The Contractor must bring a full set of the approved and permitted plans so locations for major construction equipment and activity may be agreed on and recorded by Architecture Review and the Contractor. Locations for refuse containers, temporary toilets, materials storage, construction trailers, staging and vegetation protection fencing will be among the items discussed.

### 6.3 CONSTRUCTION REQUIREMENTS

After Final Design Approval has been granted by the MARTIS CAMP Architecture Review, a Pre-Construction Package consisting of the documentation and MARTIS CAMP Architecture Review forms listed below must be submitted in full at the Pre-Construction Conference. As the Owner's agent, the Contractor must provide a complete package as a prerequisite to obtaining permission to begin construction.

#### Construction Checklist:

- A Completed Pre-Construction Information Form.
- Proof of Final Design Approval from Architecture Review.
- Copy of Approved Final Design Plans.
- Copy of California Contractor's License.
- \$10,000 Contractor Deposit.
- Second half of Architecture Review Fees - \$5,000 for Estate parcels, \$3,000 for Cabin sites
- Copy of General Liability Insurance Certificate
  - Minimum \$2 million General Liability Insurance naming Owner and Declarant as Additional Insureds.
- Proof of Workers' Compensation Insurance or Exemption.
- Copy of Placer County Building Department Permit or a copy of the submitted application.
  - A copy of the Permit must be submitted to Architecture Review no later than one month after Permission to Begin Construction is granted.
- Site staked and prepared properly.
- Identification Sign [optional]. The location of the sign should be noted on the Site Plan.
- Vehicle Access List - A list of all vehicles and personnel accessing the property along with proof of insurance submitted to Security.
- Notify Architecture Review when the Pre-Construction checklist is complete to arrange an onsite meeting.

## 6.4 INSURANCE

Prior to beginning construction General Contractors must provide evidence of insurance which must remain in force through all phases of the project. Provide a Certificate of Insurance naming both the Owner and MARTIS CAMP Community Association and related entities as certificate holders. Insurance must provide coverage not less than the applicable limits of coverage relating to comprehensive general liability, automobile liability and workers' compensation.

The minimum limits are \$2,000,000 per incident for general liability. Automobile and workers' compensation liability must have a minimum of \$1,000,000 per incident. General liability coverage must contain provisions for contractual liability and broad-form property damage. The certificate shall provide for a 30-day notice to the certificate holders in case of cancellation or material change in the limits of coverage.

## 6.5 SITE PREPARATION

Prior to beginning any part of construction, staking and site preparation must be complete and include the following:

- Limit access to areas within the Construction Zone with black 4-foot high protection fencing.
- Stake and string all building setbacks.
- Elements to be saved within the Construction Zone protected including tree root protection.
- Best Management Practices installed.
- Fire extinguishers provided.
- Flag and temporarily protect all vegetation to be transplanted.
- Flag trees to be removed.
- Construction access marked and fenced.
- Utility trench location staked and fenced.
- Building footprint staked, strung and labeled.
- Paving limits staked and strung.
- Temporary toilet location indicated.
- Construction office [if applicable] location indicated.
- Materials storage site[s] indicated.
- Dumpster location indicated.



## 6.6 COMPLIANCE DEPOSIT

To insure compliance with the rules set forth in the Architecture Handbook and the CC&Rs, the Contractor must post a deposit of \$10,000 for each property in the construction phase. The deposit is required as a prerequisite for permission to begin construction.

The Contractor shall provide the deposit to the title or escrow company chosen by the Association and shall make the check payable to MARTIS CAMP Association Compliance Escrow Account.

The Contractor shall execute the escrow agreement providing that funds from the Compliance Escrow Account shall be released to the Association to the extent necessary to [a] cover any fines or penalties charged to the Contractor by the Association due to the Contractor's violation of the Architecture Handbook or CC&Rs or [b] remedy damage to any common area, open space, golf course, roads, rights-of-way or infrastructure caused by the Contractor.

The deposit will be returned without interest to the Contractor who posted the deposit upon Final Release less fines levied for items in noncompliance with the CC&Rs, Community Association rules [including traffic and parking regulations] or if deviations from the approved Final Design occurred.

## 6.7 PERMISSION TO BEGIN CONSTRUCTION

Permission to begin construction will generally be granted during the Pre-Construction Meeting unless outstanding pre-construction items are not in compliance. A Pre-Construction Agreement must be signed by the Contractor and Architecture Review. The date on this Agreement will be noted as the Commencement of Construction unless the Contractor requests an alternate start date.

The Contractor must begin construction within one year of the pre-construction approval date. If the Contractor fails to begin construction within this time period, approval will be revoked. If approval is revoked, the Contractor must resubmit the Pre-Construction Package and reapply for Permission to Begin Construction under any new requirements that may have been enacted since the original permission date. The MARTIS CAMP Architecture Review or a representative may inspect the property at any time to ensure the pre-construction preparations remain in place as approved.

## 6.8 BEGINNING CONSTRUCTION

Upon receipt of permission to begin construction and after having satisfied all applicable Placer County review and permit processes, the Contractor may begin construction of the work pursuant to the approved plans.

Temporary toilets, refuse containers, fire extinguishers and any required temporary infrastructure must be on site on the day any construction activity has occurred or as noted differently in the Pre-Construction Agreement. Additionally, within the first seven days, the driveway must be underlain with filter cloth and a base course of minimum 1.5" diameter washed gravel installed.

## 6.9 CHANGE OF CONTRACTOR

If, during the course of construction, the Owner changes the Contractor of Record, Architecture Review must receive a letter from the Owner requesting this change. The letter must include the name and telephone number of the Contractor who will assume responsibility for the project.

The Contractor to assume responsibility must attend a Pre-Construction Orientation, provide revised Pre-Construction documents including a \$10,000 deposit and meet with Architecture Review to discuss specific items pertaining to the project. The incoming Contractor must sign a Pre-Construction Agreement before responsibility for the project is released from the outgoing Contractor.

The remaining deposit will be returned to the party providing the deposit after the incoming Contractor has signed a Pre-Construction Agreement and posted the deposit.

## 6.10 COMPLETION OF CONSTRUCTION

The Contractor shall complete construction of all improvements within 36 months after beginning, except when completion is impossible or would result in hardship to the Owner due to labor strikes, fires, national emergencies or natural calamities. If legitimate circumstances arise such that construction activity will need to exceed the 36-month limit, or if Final Release has not been requested within this time period, an alternate construction schedule must be arranged by way of a Construction Variance.

If the Contractor fails to comply with this schedule, if diligent pursuit of the work is not evident or if the project site is abandoned for a period of four weeks or a cumulative period of four weeks during any eight-week span without an approved Alternative Construction schedule, Architecture Review, after 30 days written notification to the Owner, may take corrective action. This corrective action may include having the exterior improvements completed in accordance with the approved plans or the improvement may be removed and the property restored to its preconstruction condition to the greatest degree possible. All costs relating to the completion or removal shall be borne and reimbursed to MARTIS CAMP by the Owner, to be secured by a continuing lien on the homesite.

To be considered an active construction site, crews must be present and must also have a refuse container, a temporary toilet, fire extinguishers, correctly placed vegetation protection fencing and applicable temporary Best Management Practices in place. All properties must be winterized if work is suspended during periods of October 15 through April 30.

## 6.11 CONSTRUCTION SCHEDULES

Contractors wishing to install a foundation in the fall and not return to the site to begin framing until spring must make special arrangements with Architecture Review to ensure that the site is properly winterized, will not be permanently abandoned and help defray monitoring costs associated with neatly closing and properly restarting the construction phase. Projects, which for legitimate reasons are unable to be completed within the given time frame, must also make these arrangements.

These arrangements include an increased deposit of an additional \$2,000 to cover costs related to restoration activities in the event of site abandonment. Temporary Best Management Practices must be in place and maintained throughout the winter months regardless of the construction activity status of the project.

## 6.12 CONSTRUCTION VARIANCES

If construction cannot be legitimately completed within the standards set forth in the Construction Regulations, the Contractor may apply for a Construction Variance in writing to Architecture Review.



## 6.13 OBSERVATION & ENFORCEMENT

Architecture Review and Security will regularly observe work in progress and give Notices of Noncompliance when applicable. The Notice of Noncompliance will usually be associated with a fine as described in the Fine Schedule.

The Owner and Contractor are responsible for violations of the Architecture Handbook, CC&Rs and other Association rules by all parties involved in the construction on the Owner's property. As the designated contact and agent for the Owner during the construction phase, the General Contractor is responsible for making sure all parties, including subcontractors, suppliers and crew, abide by the rules in place. All Notices of Non-Compliance for construction activity will be directed to the General Contractor, who bears responsibility for all construction-related persons entering MARTIS CAMP on behalf of their project. A copy of the Notice of Noncompliance will be provided to the Property Owner, who also bears responsibility.

Architecture Review will review Notices of Noncompliance. Owners and Contractors may submit written evidence to Architecture Review prior to such reviews that they are not in violation of the rules. All decisions of Architecture Review are final subject to rights under the law. In lieu of this process, the Association Board of Directors may establish an alternative fine and enforcement procedure on a case-by-case basis.

Warnings may be given for less-serious breaches of the rules. Violations will be subject to the fines and other corrective action. These fines and actions may be imposed by the MARTIS CAMP Community Association or Architecture Review and its agents. Fines double for each successive similar or uncured violation, regardless of any third party involvement, such as a subcontractor.

In the event of an egregious or flagrant violation, Architecture Review or the Association may impose a fine of up to ten times the penalties listed in the Fine Schedule.

The MARTIS CAMP Community Association and its agents may at any time, including after issuance of a Final Release, take corrective action including, but not limited to, issuance of Notice of Noncompliance and fines, entering the site to correct the problem, issuing a Notice of Non-Compliance, a Stop Work Order, ordering mitigation measures or enforcement by any proceeding at law or as otherwise allowed under the law.

Absence of such inspection or Notice of Noncompliance during the construction period does not constitute an approval by Architecture Review of work in progress or compliance with these limitations.

#### 6.14 EXTERIOR MATERIALS & COLORS

All materials and colors of any structure must be approved via a comprehensive onsite mockup prior to ordering, delivery or installation. This procedure involves advance planning and the involvement of the Architect, the Contractor and Architecture Review.

#### 6.15 CHANGE REQUESTS

The Contractor must build the home per the approved Final plans approved by Architecture Review. Deviations from these plans visible from outside of the home or the addition of heated livable square footage inside the structure[s] must be requested and approved by Architecture Review prior to the implementation of the changes.

To expedite the construction process, many minor changes can be handled administratively by Architecture Review with the necessary documentation to follow by the Architect. Failure to follow the Change Request procedures may result in penalties. Fines levied against the Contractor's deposit for unapproved changes do not constitute approval and must be submitted for review to Architecture Review as part of a Change Request procedure. In the event a change is not approved, the structure must be re-built as approved in the Final Design. Fines and Change Request fees can not be refunded.

## 6.16 NOTIFICATION OF COMPLETION & FINAL RELEASE

Upon completion of a project, the Contractor shall give written notice of completion to the MARTIS CAMP Architecture Review via the Notification of Completion form.

As part of the notification of completion process, Architecture Review shall be provided with a set of 11x17 inch Record Drawings providing a representation of what was constructed on the property.

A representative of the MARTIS CAMP Architecture Review will observe the project site for compliance. During the Final Release process, the Record Drawings will be checked for accuracy against what is observed as built on the property. Record Drawings must reflect the Final Design approved including any approved Change Requests. Discrepancies are subject to a Notice of Noncompliance and associated fines may be deducted from the Construction Deposit on an item-by-item basis.

Unapproved changes may need to be rebuilt as originally approved. If all improvements comply with the Architecture Handbook, Architecture Review may issue a written approval to the Owner, constituting a Final Release. The Final Release will be issued within two weeks of the final inspection and will be followed shortly thereafter with the remaining balance of the construction deposit and a Certificate of Compliance. A Final Release is a prerequisite for obtaining a Certificate of Occupancy from Placer County.

If work was not in compliance with the Final approved plans, Architecture Review may issue a written Notice of Noncompliance to the Owner, specifying the particulars of noncompliance. This Notice will be issued within 30 days of the final inspection.

The Owner will generally have 30 days from the date of Notice of Noncompliance to remedy non-complying portions of the project. If, by the end of this time period the Owner has failed to remedy the noncompliance, Architecture Review may take action to remedy or remove the non-complying improvements. If Architecture Review fails to issue a Final Release and also fails to issue a Notice of Noncompliance to the Owner within 30 days receipt of the Contractor's completed Notification of Completion form, the improvements shall be deemed to be in compliance with plans as approved by Architecture Review. The remaining balance of the construction deposit will be returned and a Certificate of Compliance issued. Architecture Review retains jurisdiction over the improvements for enforcement purposes even after issuance of a Final Release.



## 6.17 CONDITIONED FINAL RELEASE

Architecture Review may grant a Conditioned Final Release for a property in the event required improvements necessary for Final Release cannot be completed due to inclement weather, seasonal considerations or other unforeseeable events. A Conditioned Final Release will provide for a Certificate of Occupancy from Placer County prior to receiving Final Release and a Certificate of Compliance.

An estimate of the cost to complete the work signed by the Contractor and a deposit for 150 percent of the estimate must be submitted to Architecture Review. These funds will be held in addition to the remaining Compliance Deposit. Final Release will be given [along with the return of both the standard and the additional Compliance Deposit] after verification of completion of the remaining work.





## 7 - CABIN COMMUNITIES

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- OVERVIEW
- DESIGN CONSIDERATIONS
- SITE PARAMETERS
- APPROPRIATE SCALE
- REVIEW FEE FOR CABINS
- SPEAKING OF ARCHITECTS
- RECOMMENDED READING





# 7 - CABIN COMMUNITIES

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## OVERVIEW

Along the central spine of park amenities which stretches through the heart of Martis Camp are situated several distinctive neighborhoods which have been designated as Cabin Communities.<sup>1</sup>

The properties comprising these enclaves are on average about one-fourth the size of those of the community at large. Unlike the larger properties which afford separation and seclusion, parcels in the Cabin Communities offer a unique aspect of sociability resulting from their proximity. These properties are also within walking distance of diverse recreational activities throughout the parks.

<sup>1</sup> Cabin Communities currently include: properties 216 through 269.



## 7.1 DESIGN CONSIDERATIONS

*The Owners of Cabin properties will enjoy, for the most part, the same freedom of design afforded to Owners of Estate parcels at Martis Camp.*

Consequently, the “Review Principles” and twelve “Elements of Composition” imparted by Section One of this Handbook are applicable to Cabin properties as well. QUALITY OF DESIGN REMAINS THE ENDURING BENCHMARK FOR ALL HOMES OF MARTIS CAMP.

Likewise, most of the preceding design provisions of Sections One through Six, along with many of their accompanying illustrations continue to apply to these Cabins.

The remainder of this Section will identify the adjustments of scale essential to the Cabins in response to their greater visibility, reduced building envelopes and proximity to other properties and public uses.





## 7.2 SITE PARAMETERS

Most concepts in items 2.5 through 2.14 of Section Two remain applicable to these Cabin properties as well.

Minimum building setbacks for each Cabin property are noted in the Development Notebook Sheets. Generally, they correspond to the following principles - please note the flexibility feature relating to side setbacks:

30 feet along all street frontages;

20 feet along rear property lines, AND other property lines which abut the putting course, the golf course and parks and other public uses;

40 feet\* minimum **sum** of side setbacks.

\*The sum of both side setbacks shall be 40 feet or more; but no side setback shall be less than 15 feet. This provision permits flexibility in the siting of each Cabin; further, the variation in the separation between Cabins along a streetscape/parkscape becomes an added benefit.





### 7.3 APPROPRIATE SCALE

Constraints on building mass and volume have been adapted to achieve the appropriate scale between a Cabin and its site, AND between each Cabin and the human activity of nearby parks and public uses.

Heated floor area shall not exceed 3,250 square feet for Cabins. Cabins must also comply with Placer County building coverage requirements which limit the square footage for all areas under roof i.e. garages, carports, covered decks, etc. For more information please see Placer County Zoning Ordinance 17.54.100.

Please note that Item 2.3 is NOT APPLICABLE to these compact Cabin properties. An owner may choose to combine two or more adjacent Cabin lots into a single parcel, for the purpose of broader siting flexibility or greater separation around the home, but the maximum heated floor area for the resultant parcel remains 3,250 square feet.

As Cabin lots are less than an acre in size, current County ordinances limit the maximum heated floor area of a guest house with a kitchen to 640 square feet, [which counts toward the permitted maximum of 3,250 square feet], and will require that it be physically connected to the primary residence, or be integrated into a detached accessory building, such as a garage. Further, it must meet all other Placer County requirements including, but not limited to, parking.

The height of Cabin structures will generally be limited to 28 feet above original/natural grade. At the discretion of Architecture Review, an element of the structure [such as a tower element or a vista loft] may extend to a height of 32 feet when tastefully incorporated as a feature element of an exemplary design. The planar area of such an element will generally be limited to ten percent of the home's floor area.

TOWER ELEMENT/VISTA LOFT UP TO 32 FEET IN HEIGHT.  
[PLANAR CROSS-SECTION OF TOWER MAY NOT EXCEED AN AREA  
EQUIVALENT TO 10% OF TOTAL HEATED FLOOR AREA]



MAIN HOUSE LESS THAN  
28 FEET IN HEIGHT

#### 7.4 REVIEW FEE FOR CABINS

The Architecture Review fee for Cabin parcels is currently \$6,000.

For cabins, the first half of this fee will be collected at the Concept Review Meeting (see item 1.3.3); the second half will be collected at the beginning of the Construction Phase (see item 1.3.6).

Should a project not continue from the Design Phase into Construction, the second half of the fee will not be collected. There will be no refund of fees paid for projects that begin, but do not finish, either the Design Phase or the Construction Phase.



## 7.5 SPEAKING OF ARCHITECTS

*A well-crafted sailboat is a thing of beauty – that creative blending of utility and simple elegance into a comfortable living environment of limited volume.*

On an expanded scale, the Architect for a Cabin property seeks the same result – a home which “... exchanges space for soul,” to paraphrase architect and author Sarah Susanka. And while almost any Architect would relish the challenge to try, it takes the special insights borne from years of practice to bring it off successfully. We encourage each owner of a Cabin property to seek out a “seasoned” Architect to tackle the exciting task of shaping their dreams into note-perfect reality.

Cabins will not be look-alikes. To the contrary, each owner is afforded the opportunity to explore a variety of mountain appropriate architecture so designs within each neighborhood may be as unique as the owners themselves. However, hand-in-hand with this freedom of choice, goes the obvious quid pro quo of neighborly acceptance of the differing design tastes of others.

Martis Camp Cabin Communities present an extraordinary opportunity to create truly remarkable neighborhoods of diverse, well-crafted mountain architecture.

## 7.6 RECOMMENDED READING

*“Comfort is born of smaller scale and beautiful detail.”*  
— *Architect Sarah Susanka*

In response to the growing appeal and quest for the “little jewel” - that welcoming, cozy, beautifully crafted and elegantly appointed smaller home - a number of excellent resource books have been published:

*The Cabin Book*, by Linda Leigh Paul

*The Not So Big House*, by Architect Sarah Susanka

*A Pattern Language*, by Architect Christopher Alexander, et al.

*The Cabin - Inspiration for the Classic American Getaway*, by Dale Mulfinger and Susan E. Davis

*The New American Cottage - Innovations in Small-scale Residential Architecture*, edited by James Grayson Trulove and Il Kim