



SANDBOX studio

850 north lake blvd., suite 19  
po box 5747, tahoe city, ca 96145  
530.583.8822 (t) 530.581.3832 (f)

MARTIS CAMP MOUNTAIN RETREAT

MILLER RESIDENCE

HOMESITE #412  
9630 DUNSMUIR WAY  
PLACER COUNTY, CA  
A.P.N. 106-210-002

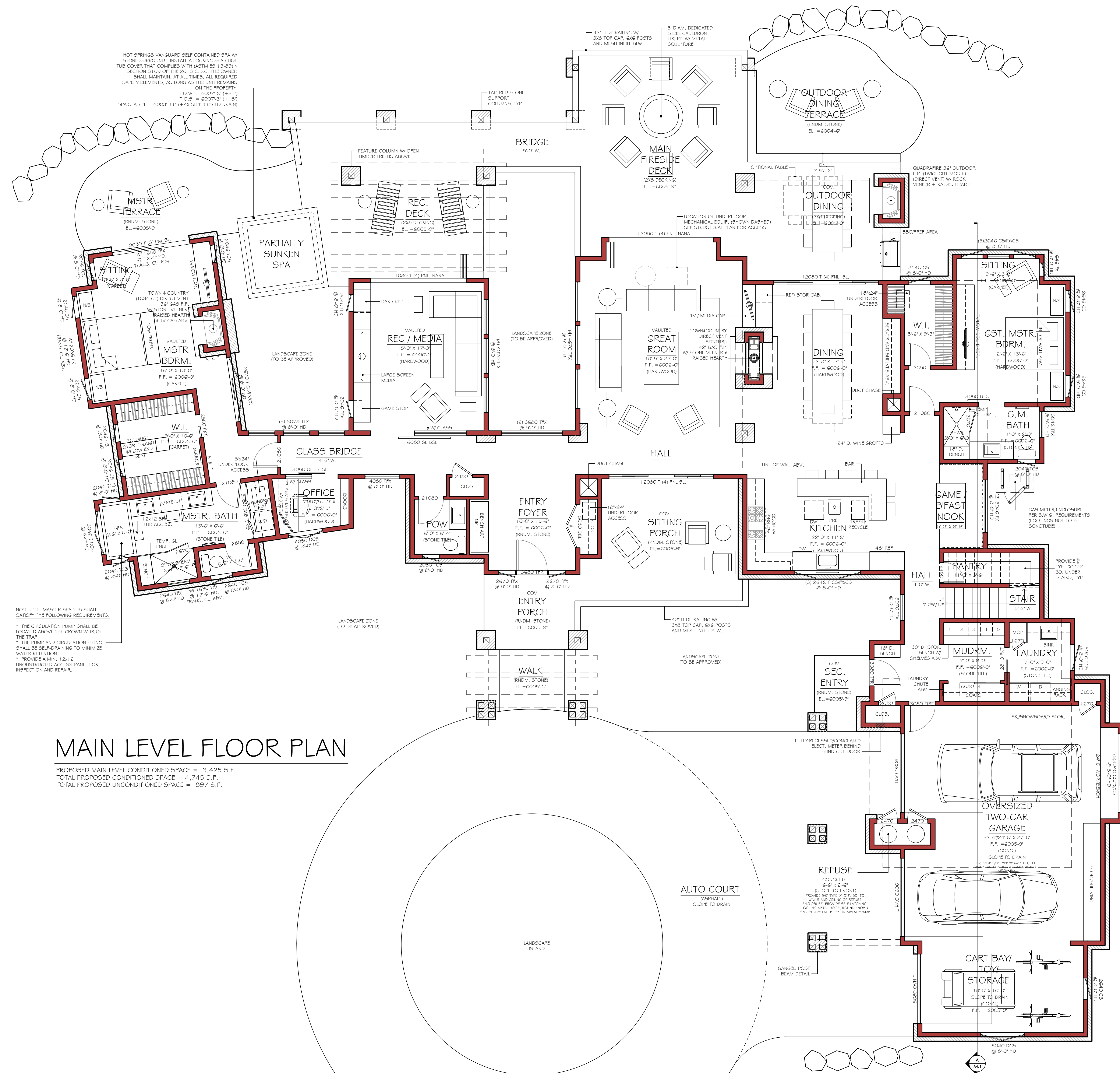
PROJECT: NEW RESIDENCE

CLIENT: JEFF MILLER

JOB #: 1304

ITERATIONS:

date	iteration
04.26.13	MC PRE-DESIGN MEETING
05.13.13	CLIENT CONCEPTUALS
06.17.13	PARTIAL PRELIM
06.21.13	REV. PARTIAL PRELIM
07.25.13	MC CONCEPTUAL SUB.
08.12.13	MC PRELIM. SUB.
08.28.13	MC FINAL SUB.
09.25.13	MC FINAL RE-SUB.
03.13.14	COUNTY SUBMITTAL
04.15.14	PLAN CHECK RESPONSE

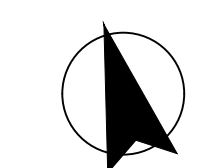


DESCRIPTION:

FLOOR PLAN

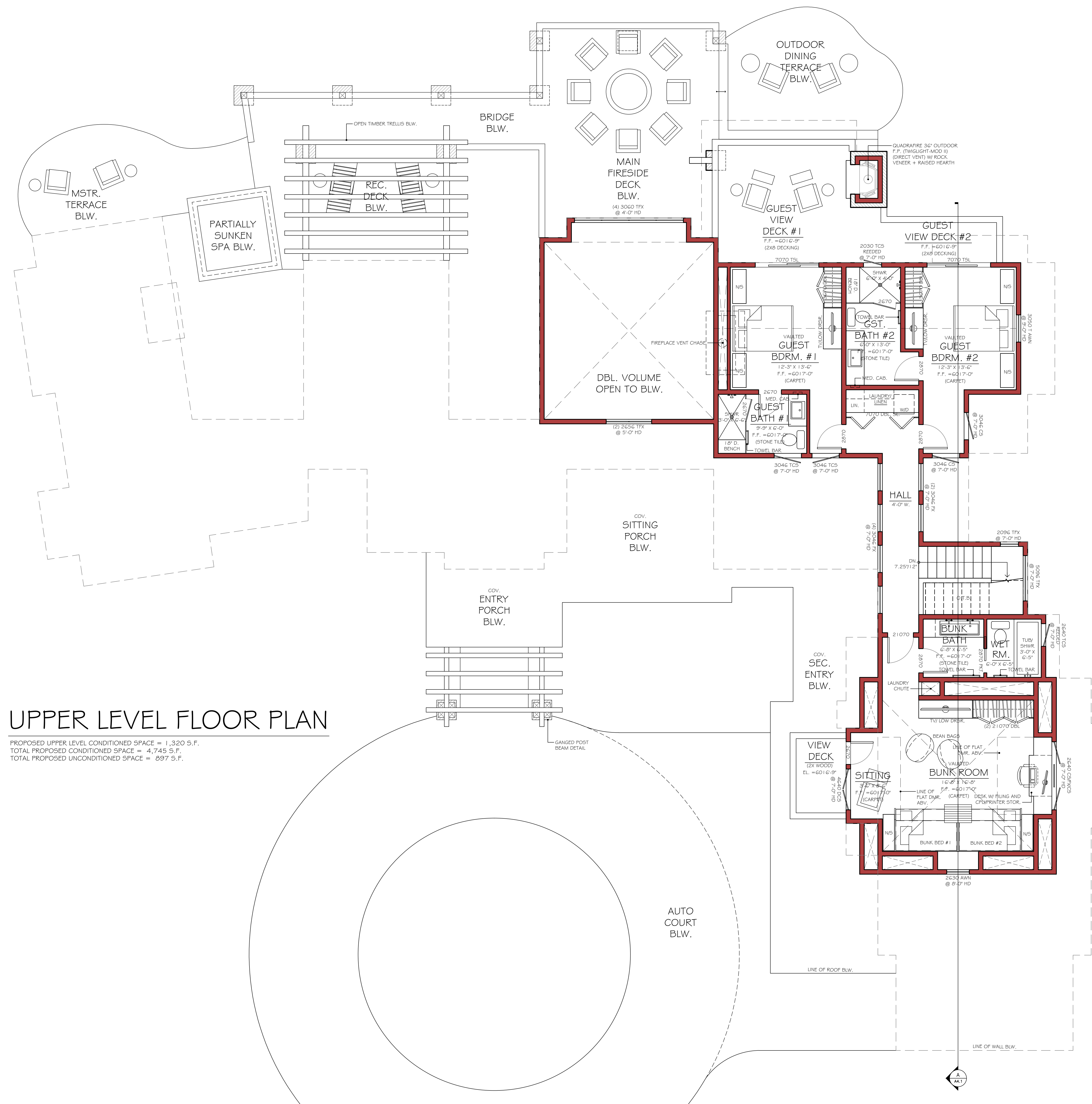
SCALE:  
N.T.S.

REF. NORTH:



SHEET:

A2.1



# UPPER LEVEL FLOOR PLAN

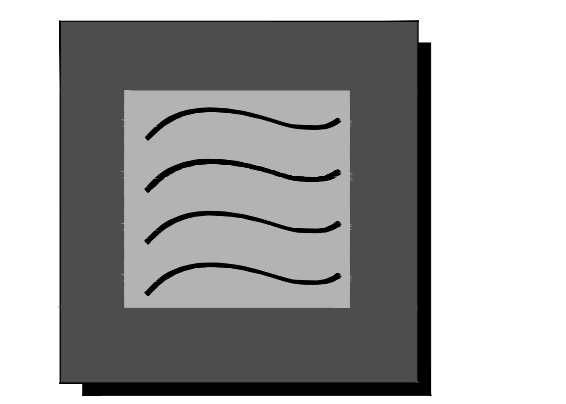
PROPOSED UPPER LEVEL CONDITIONED SPACE = 1,320 S.F.  
 TOTAL PROPOSED CONDITIONED SPACE = 4,745 S.F.  
 TOTAL PROPOSED UNCONDITIONED SPACE = 897 S.F.

REFER TO THE COVER SHEET FOR WILDLAND URBAN INTERFACE REQUIREMENTS.

THE CONDITIONS OF APPROVAL AND THE CCARS FOR THE PROJECT SHALL BE EXPLICITLY FORBID THE INSTALLATION OF ANY NON-EPA PHASE 2 CERTIFIED WOOD BURNING DEVICES OR MASONRY FIREPLACES THAT DO NOT HAVE A UL APPROVED DECORATIVE GAS-BURNING APPLIANCE THAT USES EITHER A DIRECT VENT OR B VENT FLUE SYSTEM, UNLESS OTHERWISE AGREED TO BY THE PCAFCD AND CONSISTENT WITH THE MARTIS VALLEY AIR QUALITY ORDINANCE. SOLID FUEL BURNING APPLIANCES/FIREPLACES ARE PROHIBITED IN MULTI-FAMILY LAND USES. THE MAXIMUM EMISSION POTENTIAL FROM EACH RESIDENCE SHALL NOT EXCEED 7.5 GRAMS PER HOUR.

ALL EXPOSED MECHANICAL AND PLUMBING VENTING LOCATIONS TO BE APPROVED BY ARCHITECTURE/REVIEW PRIOR TO INSTALLATION AND PAINTED A COLOR THAT COMPLEMENTS THE SURROUNDING MATERIAL (ROOF/SIDING).

AN ON-SITE MOCK-UP OF ALL EXTERIOR MATERIALS MUST OCCUR FOR MARTIS CAMP APPROVAL PRIOR TO THE ORDERING OF MATERIALS.



SANDBOX studio

850 north lake blvd., suite 19  
 po box 5747, tahoe city, ca 96145  
 530.583.8822 (t) 530.581.3832 (f)

MARTIS CAMP MOUNTAIN RETREAT

MILLER RESIDENCE

HOMESITE #412  
 9630 DUNSMUIR WAY  
 TRUCKEE, CA  
 A.P.N. 106-210-002

PROJECT: NEW RESIDENCE

CLIENT: JEFF MILLER

JOB #: 1304

ITERATIONS:

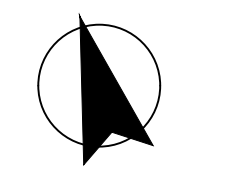
date	iteration
04.26.13	MC PRE-DESIGN MEETING
05.13.13	CLIENT CONCEPTUALS
06.17.13	PARTIAL PRELIM
06.21.13	REV. PARTIAL PRELIM
07.25.13	MC CONCEPTUAL SUB.
08.12.13	MC PRELIM. SUB.
08.28.13	MC FINAL SUB.
09.25.13	MC FINAL RE-SUB.
03.13.14	COUNTY SUBMITTAL
04.15.14	PLAN CHECK RESPONSE

DESCRIPTION:

FLOOR PLAN

SCALE:  
N.T.S.

REF. NORTH:



SHEET:

A2.2

NOTE: All drawings and written material contained herein constitute original and unexpired work of the designer and may not be duplicated, used, or altered without the written consent of Sandbox.